



AGENDA

Council -Special Meeting

4:30 PM - Thursday, June 19, 2025
Municipal Office

Page

1. CALL TO ORDER

2. DISCLOSURE OF PECUNIARY INTEREST

3. EXPLANATION OF THE PURPOSE OF MEETING

The Planners will explain the distinction between the zoning application and subdivision application and subdivision agreement process and roles

3.1. The Public Meeting to consider:

1) **Zoning By-law Amendment Application ZA01-2025**

The Zoning by-law amendment application ZA01-2025 is being held to consider amendment to the Municipal Zoning By-law to change the zoning on a portion of lands known as 3146 Nauvoo Road from the Residential 1 (h) (R1-h) Zone into several separate zones to accommodate a range and mix of housing options related to a proposed Plan of Subdivision.

2) **Draft Plan of Subdivision Application 38T-25002**

The application for Draft Plan of Subdivision has been made for the same property to create 109 low density residential lots, 12 townhouse blocks containing 56 units and 1 medium block containing approximately 79 cluster townhouse units as well as 4 blocks for servicing and stormwater infrastructure.

4. APPLICATION(S) CONSIDERATION REVIEW

- | | | |
|------|---|----------|
| 4.1. | Applicant's Presentation
Public Meeting Presentation (Montieth & Brown) | 3 - 23 |
| 4.1. | Zoning Amendment Application ZBLA01-2025 (Schouten)
(Brooke-Alvinston Council)
ZBLA 01-2025 - Public Meeting Notice
ZBLA 01-2025 - Zoning Amendment Application
ZBLA 01-2025 - Zoning Sketch
Planning Justification Report
Draft Zoning Amendment By-law | 24 - 61 |
| 4.2. | Draft Plan of Subdivision Application (Schouten)
(County of Lambton Staff)
38T-25002 - Notice of Application Public Meeting
38T-25002 - Application
38T-25002 - Ontario Land Surveyor (OLS) Draft Plan
38T-25002 - Agency Comments
38T-25002 - Written Submissions - Public | 62 - 121 |

5. CONSIDERATION OF PROPOSED APPLICATIONS

5.1. Zoning Amendment Application & Draft Plan of Subdivision

- That the report from the County of Lambton Development Services Department be received;
- That the Zoning By-law Amendment submitted respecting 3146 Nauvoo Road be approved;
- That the implementing by-law for the Zoning By-law Amendment be passed;
- That Council endorse the Conditions of Draft Subdivision Approval as presented in the Staff Report and / or that Council recommend any additions or changes to the proposed Conditions of Approval that it believes advisable.

6. IN CAMERA

That Council move into closed session pursuant to Section 239(2) of the Municipal Act, 2001 as amended to discuss the following matter(s);

(2a) Personal matters about an identifiable individual including employees

(2h) information explicitly supplied in confidence to the municipality or local board by Canada, a province or territory or a Crown agency of any of them

(2j) a trade secret or scientific, technical, commercial, financial or labour relations information, supplied in confidence to the municipality or local board, which if disclosed, could reasonably be expected to prejudice significantly the competitive position or interfere significantly with the contractual or other negotiations of a person, group of persons or organization.

7. RISE & REPORT

8. ADJOURNMENT



JUNE 19, 2025

3146 NAUVOO ROAD

Mixed Density Residential Development

Statutory Public Meeting
Zoning By-law Amendment & Draft Plan of Subdivision
Schouten Excavating



SUBJECT LANDS

ADDRESS:

- 3146 Nauvoo Road, Alvinston Ontario

AREA:

- 14.2 hectares (35 acres)

FRONTAGE:

- 330 metres (Nauvoo Road)
- 78 metres (Millpond Avenue)

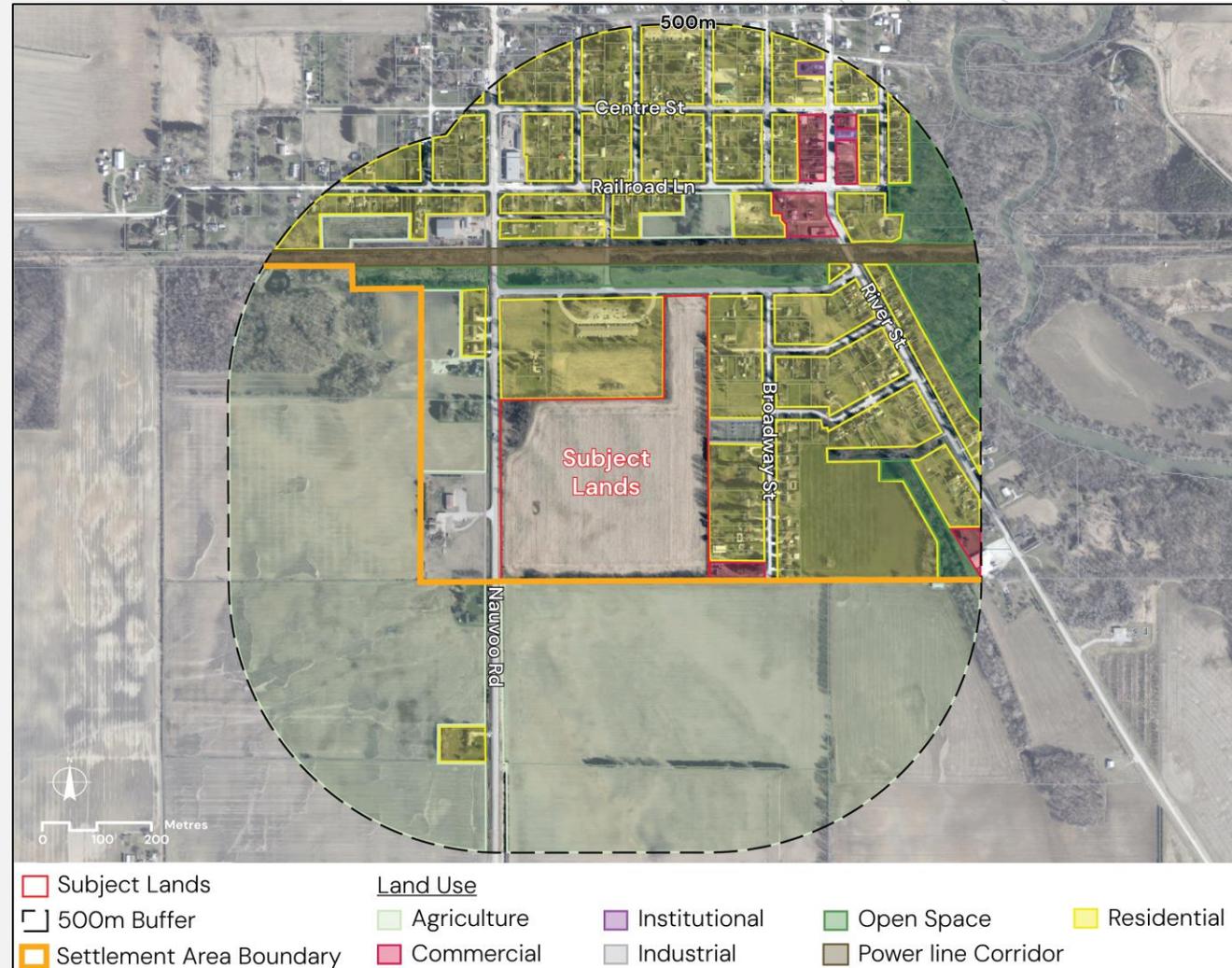
EXISTING USE:

- Vacant residentially designated lands currently in field crop production

SURROUNDING LAND USES:

- North: Medium and low density residential, Hydro Corridor.
- East: Low density residential.
- South: Agricultural lands.
- West: Public Works Yard, agricultural lands.

FIGURE. 01





DEVELOPMENT PROPOSAL



DEVELOPMENT GOALS



1

Increase the available housing supply by providing a range of housing options

2

Promote efficient use of land and infrastructure by developing a range of densities on full municipal water and sanitary services.

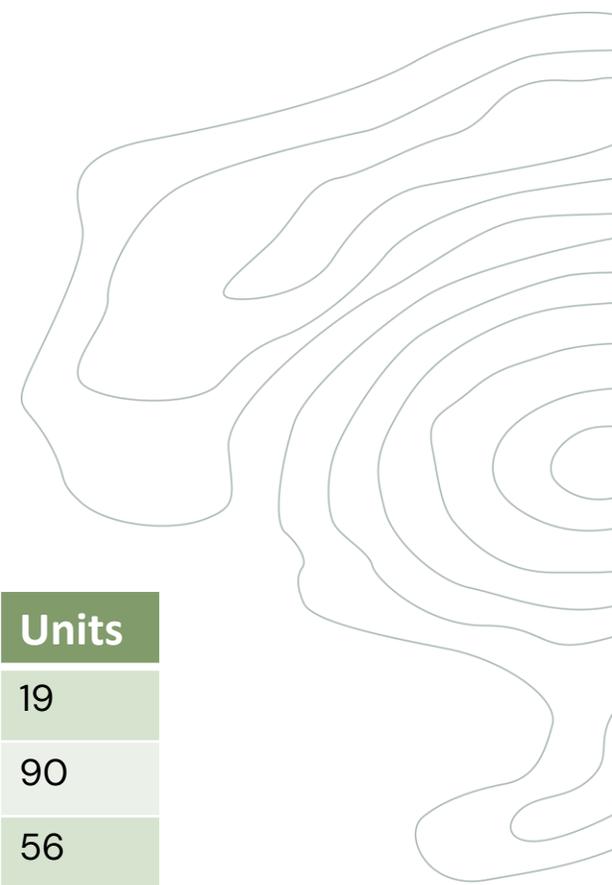
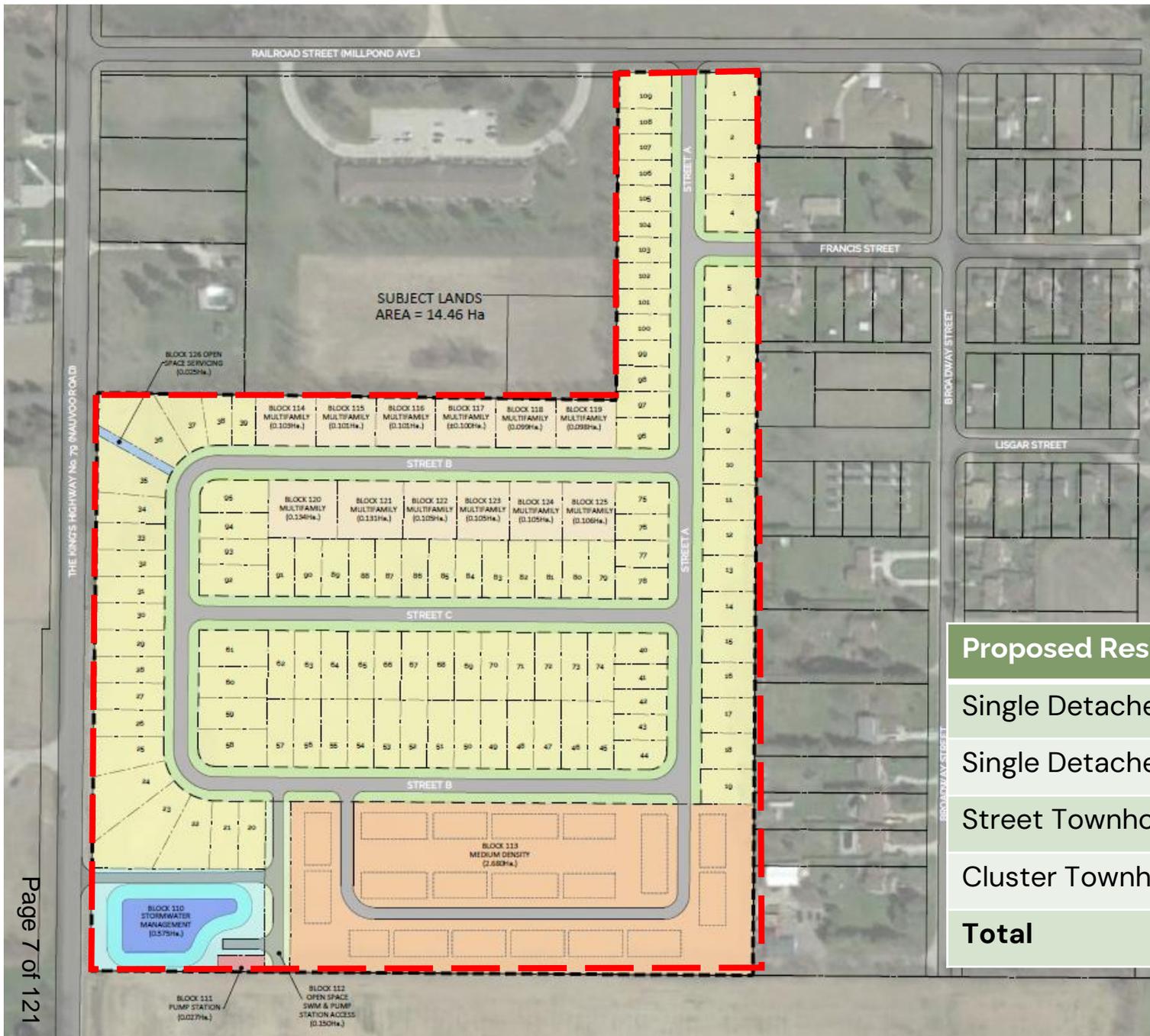
3

Propose development that is compatible with existing adjacent land uses

4

Provide a mix of housing densities to encourage the development of more attainable housing forms.

FIGURE. 02
DRAFT PLAN



Proposed Residential Use	Units
Single Detached (67-88 ft frontage)	19
Single Detached (42-50 ft frontage)	90
Street Townhouse	56
Cluster Townhouse	79
Total	244

FIGURE. 03
DRAFT PLAN

19 Single Detached Lots with lot frontages ranging from 67 ft to 88 ft.



FIGURE. 04
DRAFT PLAN

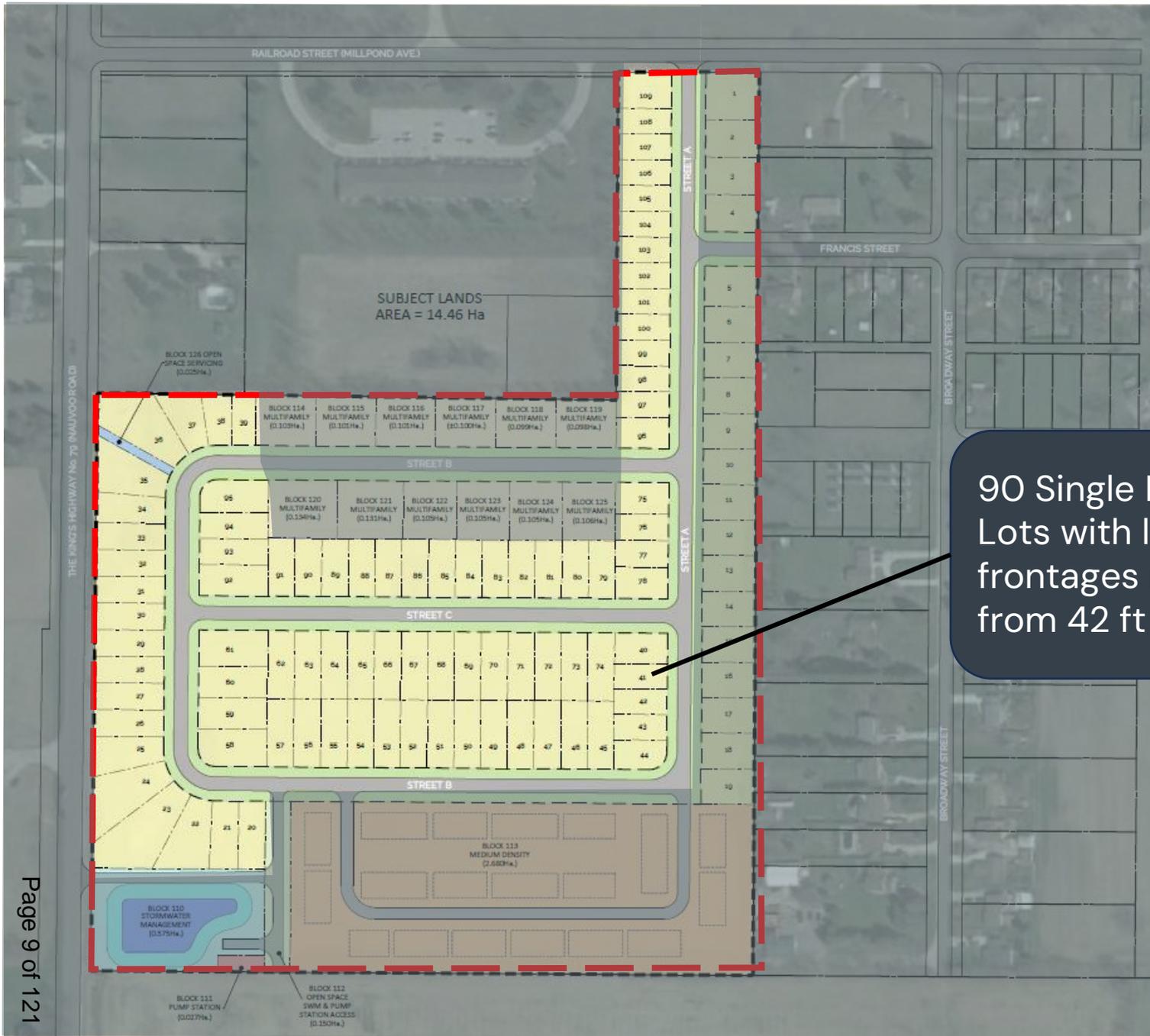
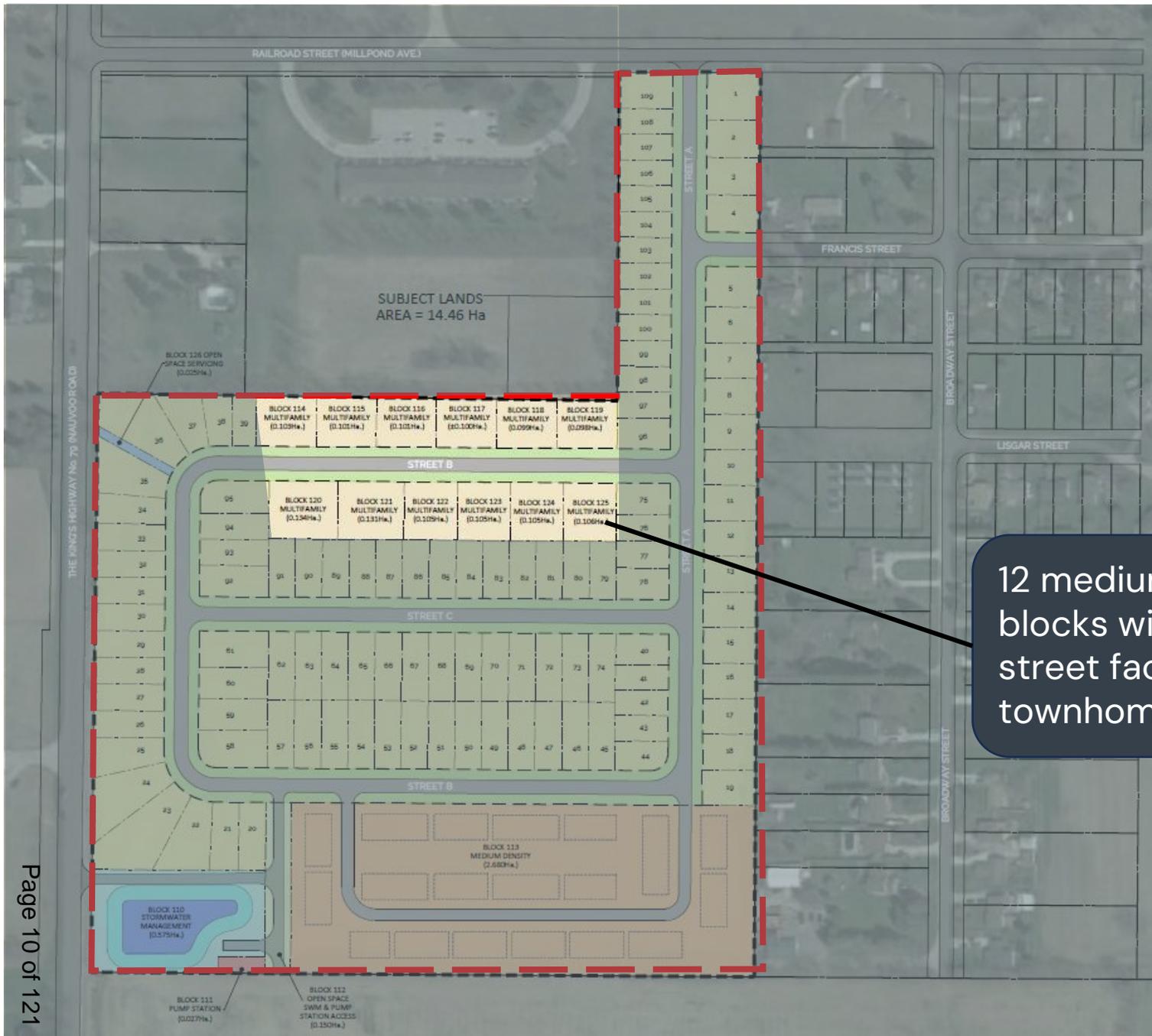


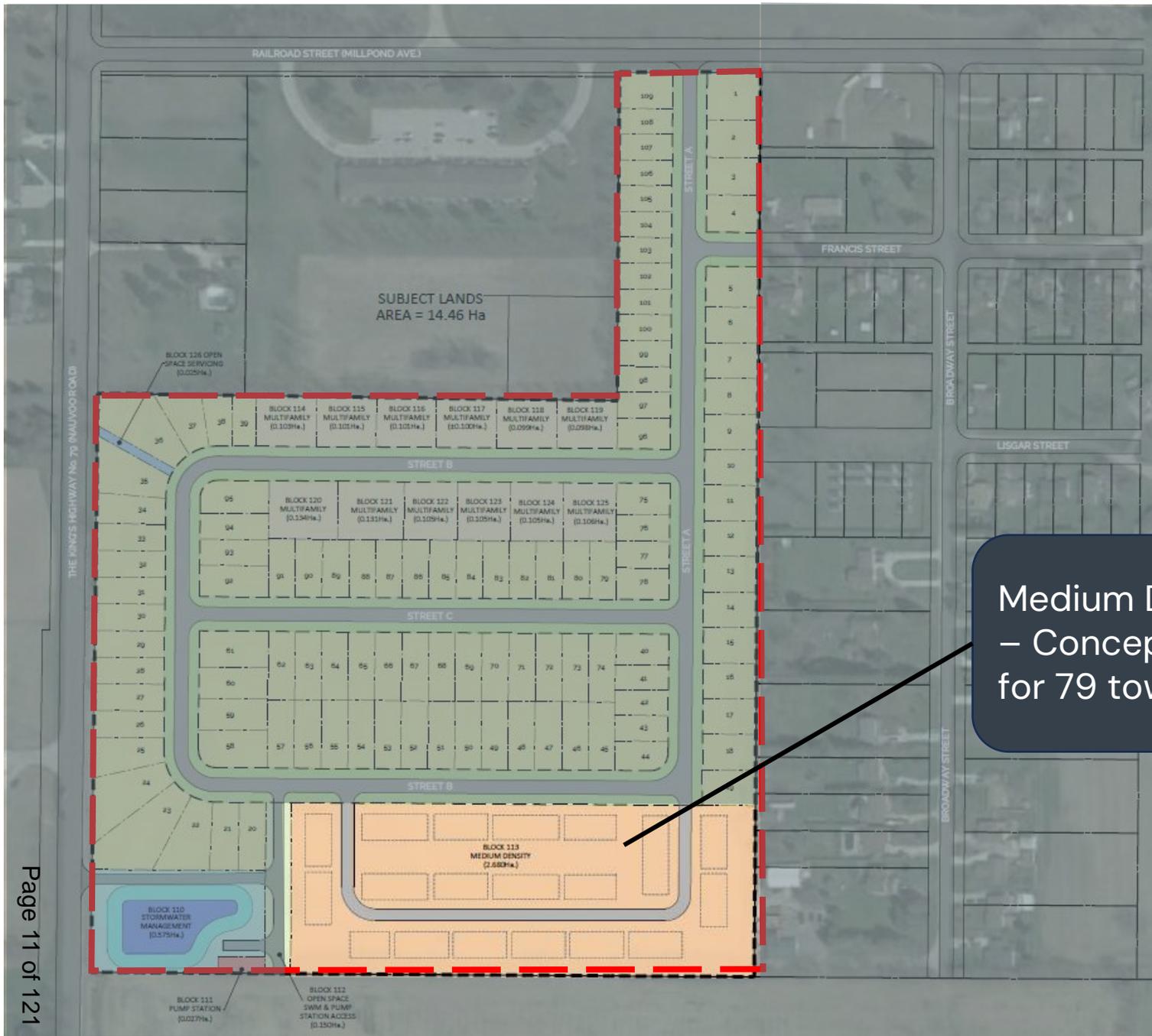
FIGURE. 05
DRAFT PLAN



12 medium density blocks with 56 street facing townhomes



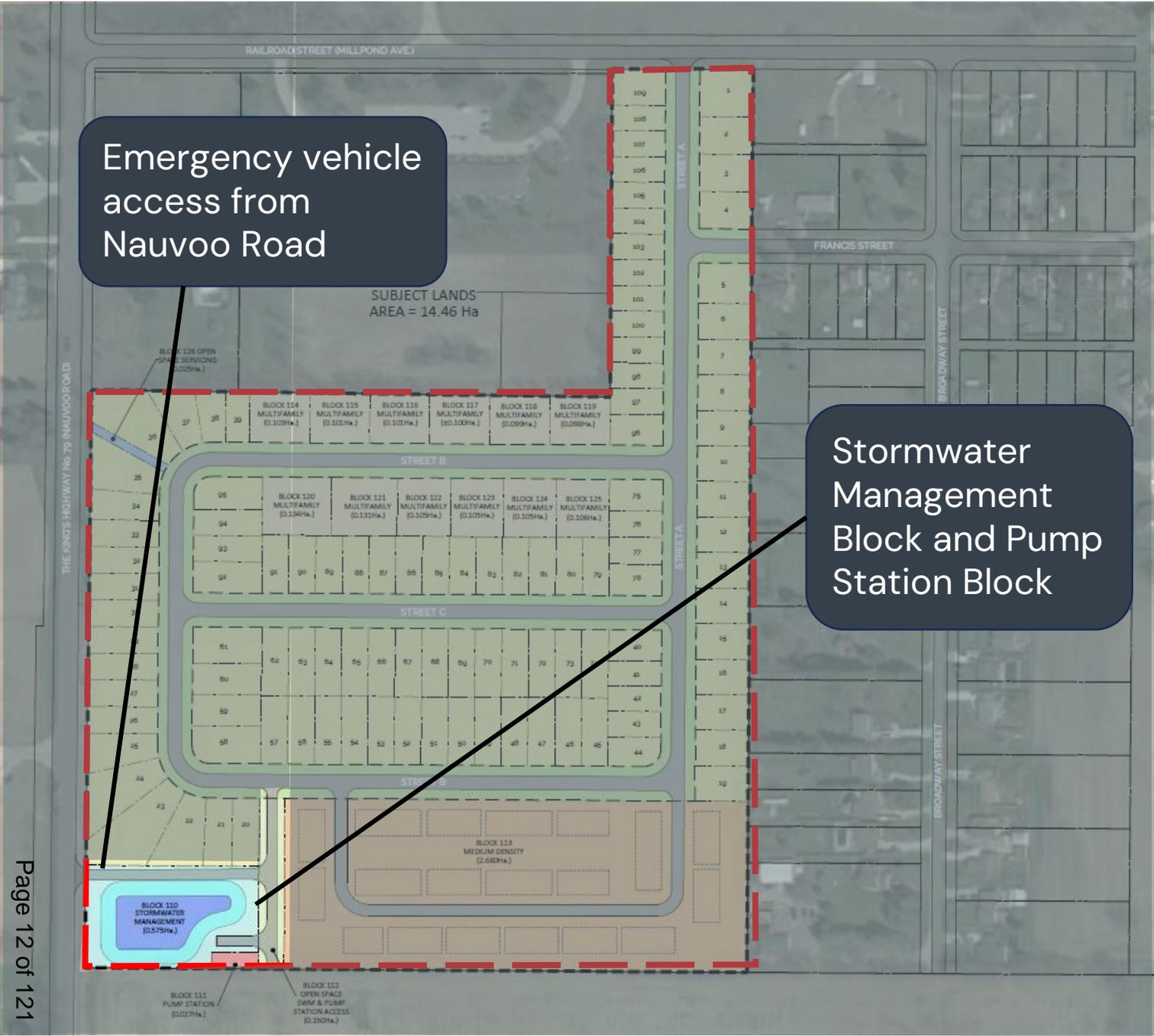
FIGURE. 06
DRAFT PLAN



Medium Density Block
– Conceptual Proposal
for 79 townhouse units



FIGURE. 07
DRAFT PLAN



TECHNICAL STUDIES TO INFORM NEW DEVELOPMENT



A number of technical studies were undertaken to support and inform the conceptual development on the subject lands:



PHASE I ENVIRONMENTAL SITE ASSESSMENT



PRELIMINARY SERVICING REPORT



TRAFFIC IMPACT STUDY



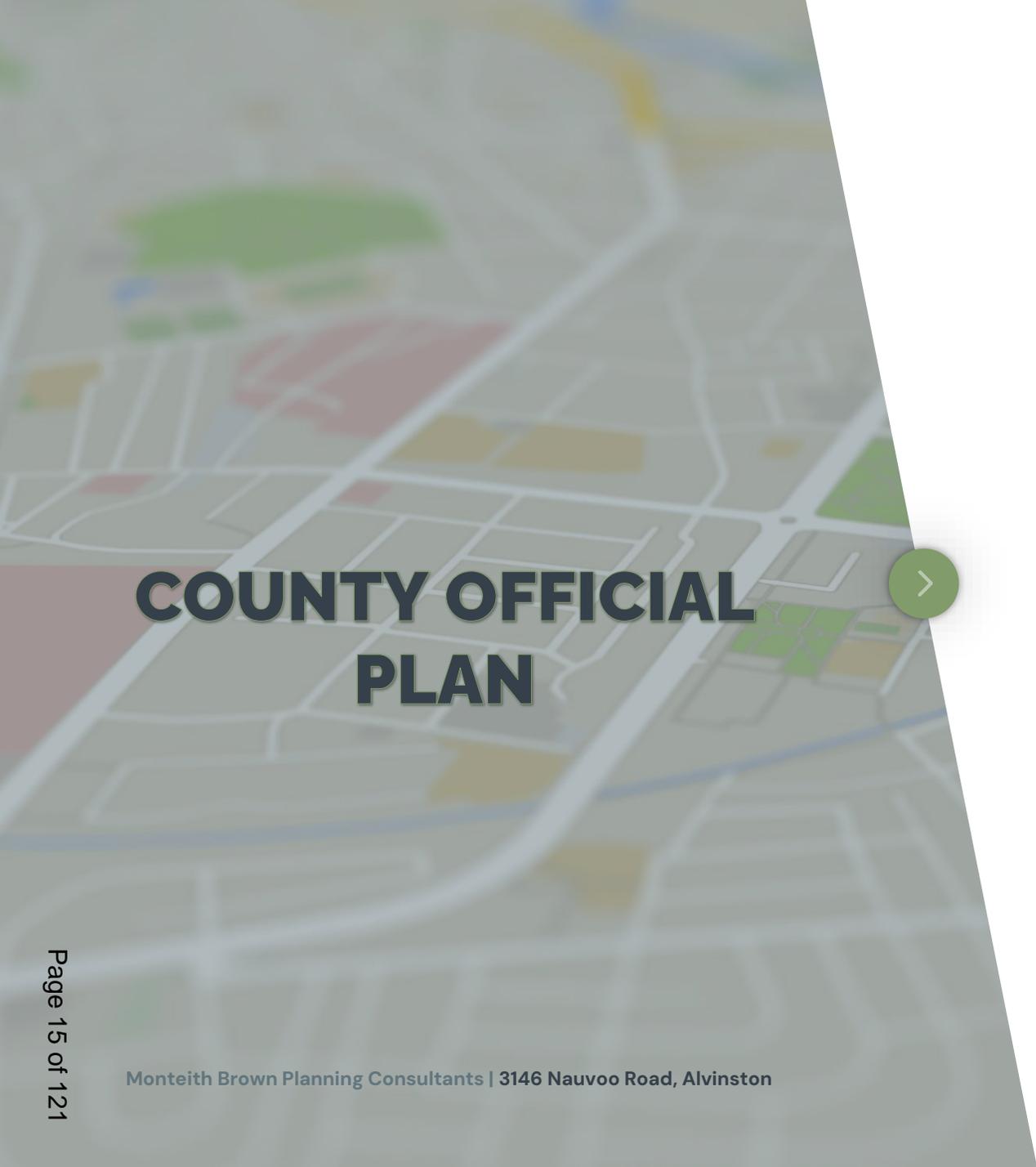
ENVIRONMENTAL IMPACT STUDY



STAGE 2 ARCHAEOLOGICAL ASSESSMENT



POLICY FRAMEWORK



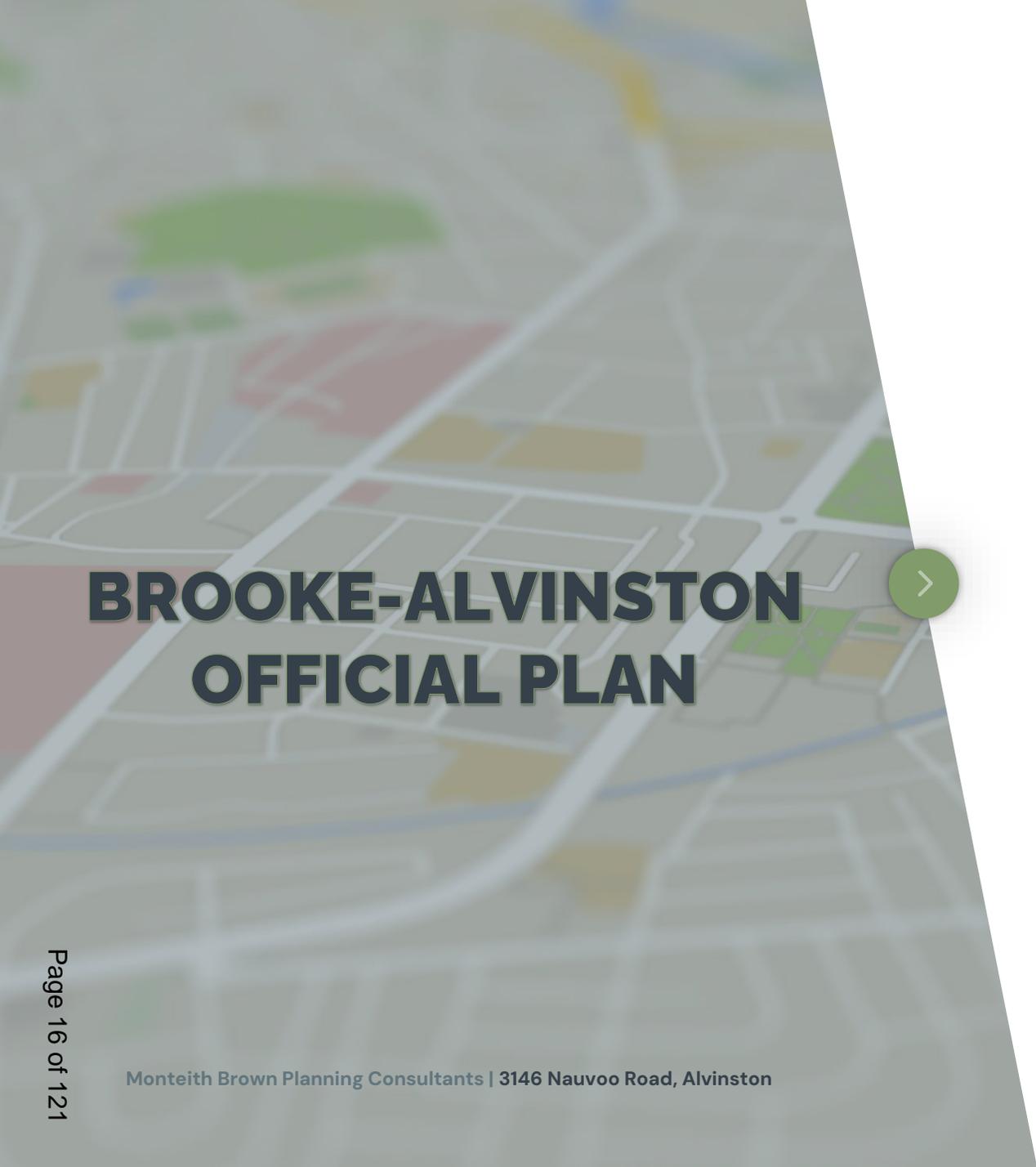
COUNTY OFFICIAL PLAN

DESIGNATION

Urban Settlement

POLICY OBJECTIVES

- Provides an overall County planning policy framework for the development of detailed local planning policies
- Focuses growth towards Urban Settlements on full municipal services.
- Directs that there are to be no negative impacts natural environment and road infrastructure.



BROOKE-ALVINSTON OFFICIAL PLAN

DESIGNATION

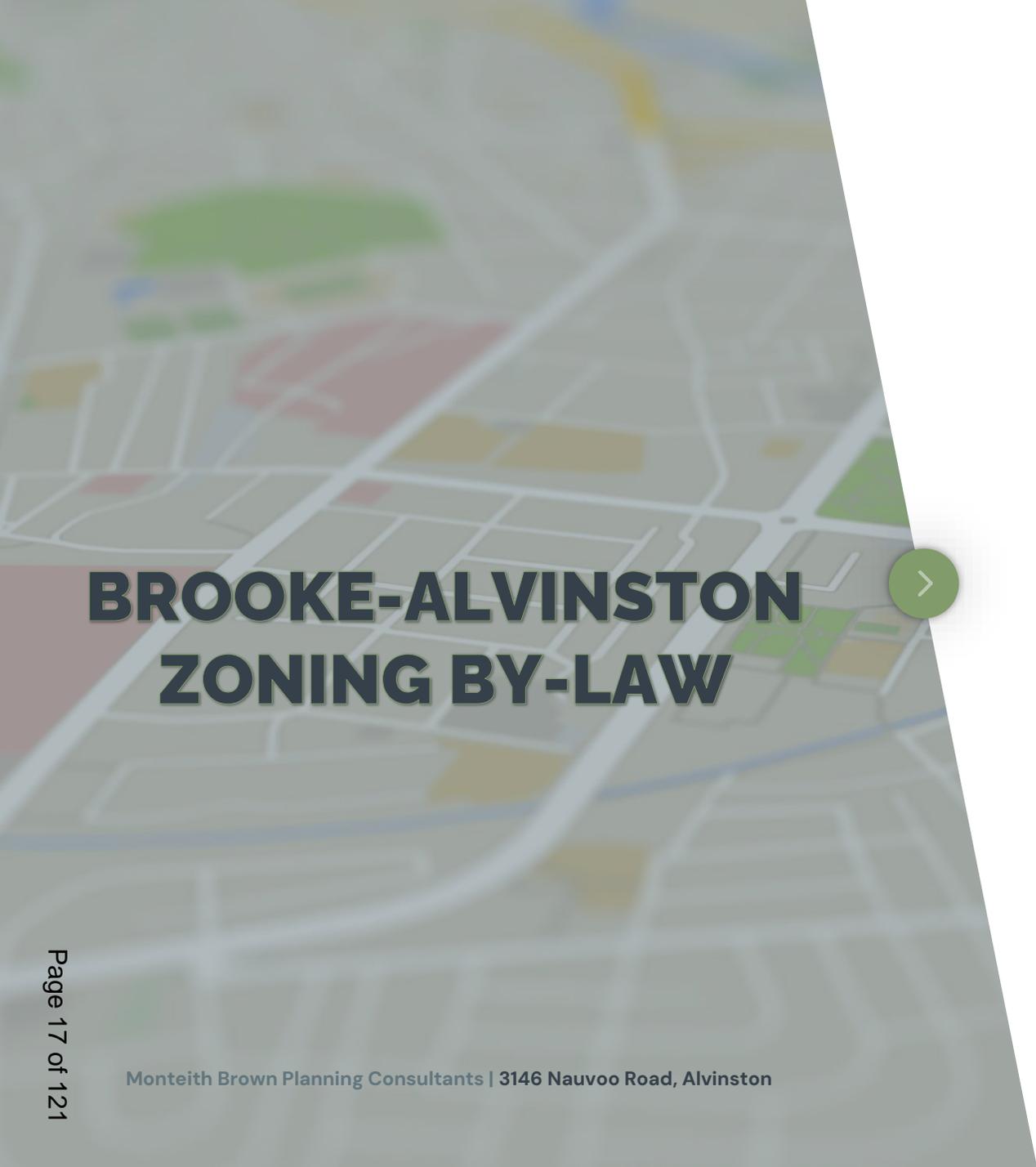
Residential

PERMITTED USES

- Single detached dwellings
- Semi-detached dwellings
- Duplexes
- Townhouses
- Low-rise apartment buildings

OBJECTIVES

- Encourage a variety of housing types within new development proposals
- Development is to extend from the existing built-up area and use municipal services efficiently.



BROOKE-ALVINSTON ZONING BY-LAW

CURRENT ZONING

Residential 1 - Holding (R1-h)

PERMITTED USES

- Single detached dwellings
- Semi-detached dwellings
- Duplexes

ZONING REQUIREMENTS

- Minimum lot area of 465 m² (0.11 acres)
- Minimum lot frontage of 18 m (59 ft)

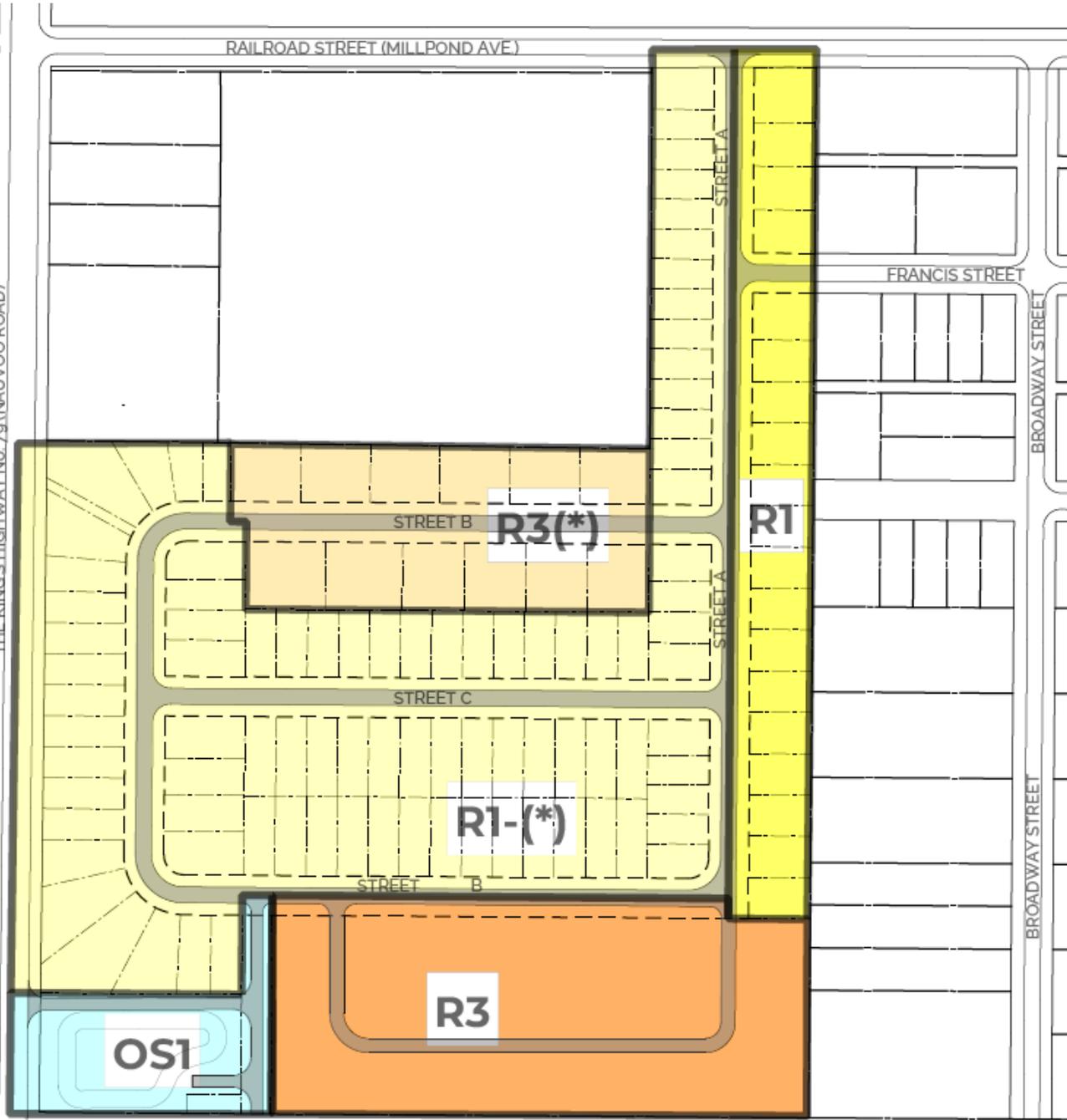
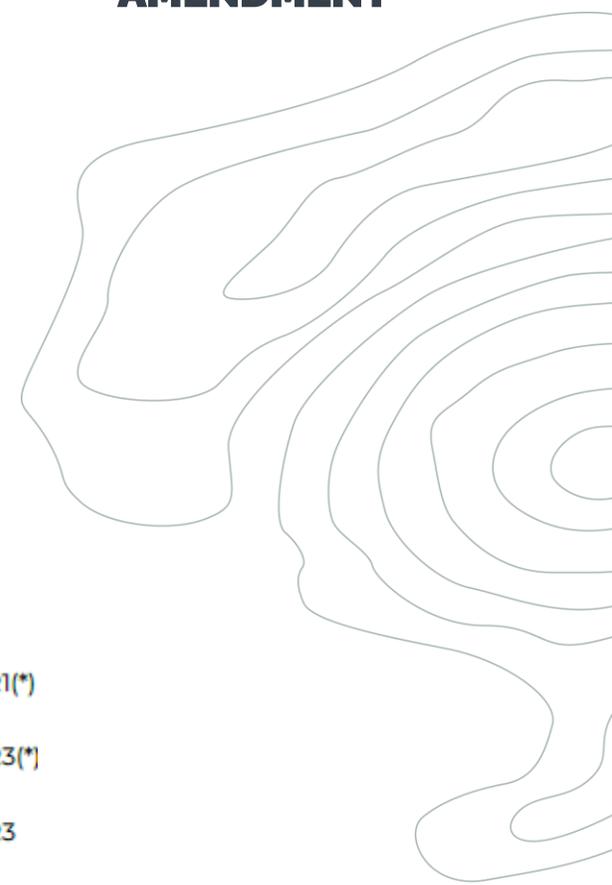
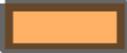
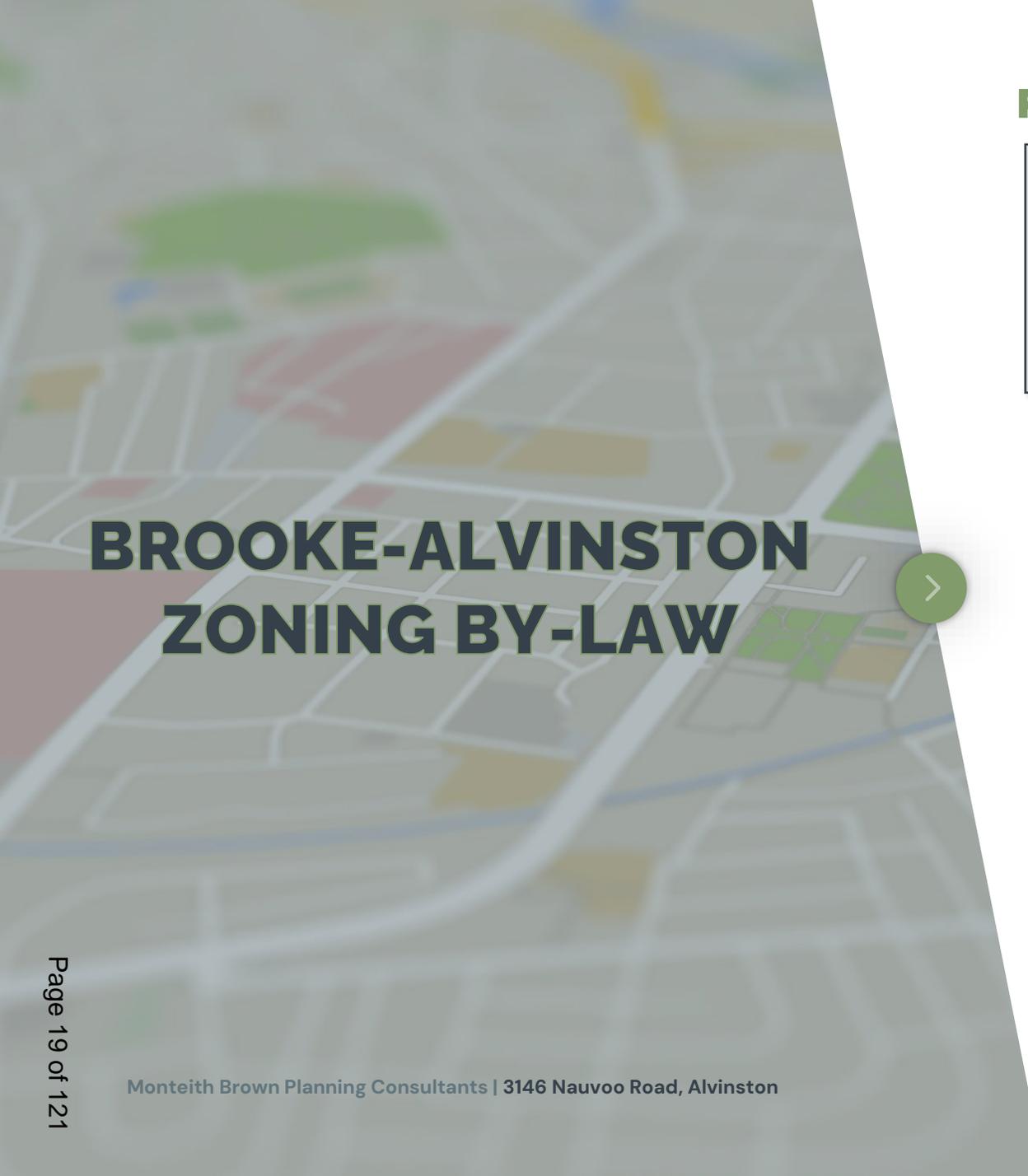


FIGURE. 09
PROPOSED
ZONING
AMENDMENT



-  REZONE FROM R1(h) TO R1(*)
-  REZONE FROM R1(h) TO R3(*)
-  REZONE FROM R1(h) TO R3
-  REZONE FROM R1(h) TO OS1
-  REZONE FROM R1(h) TO R1



BROOKE-ALVINSTON ZONING BY-LAW

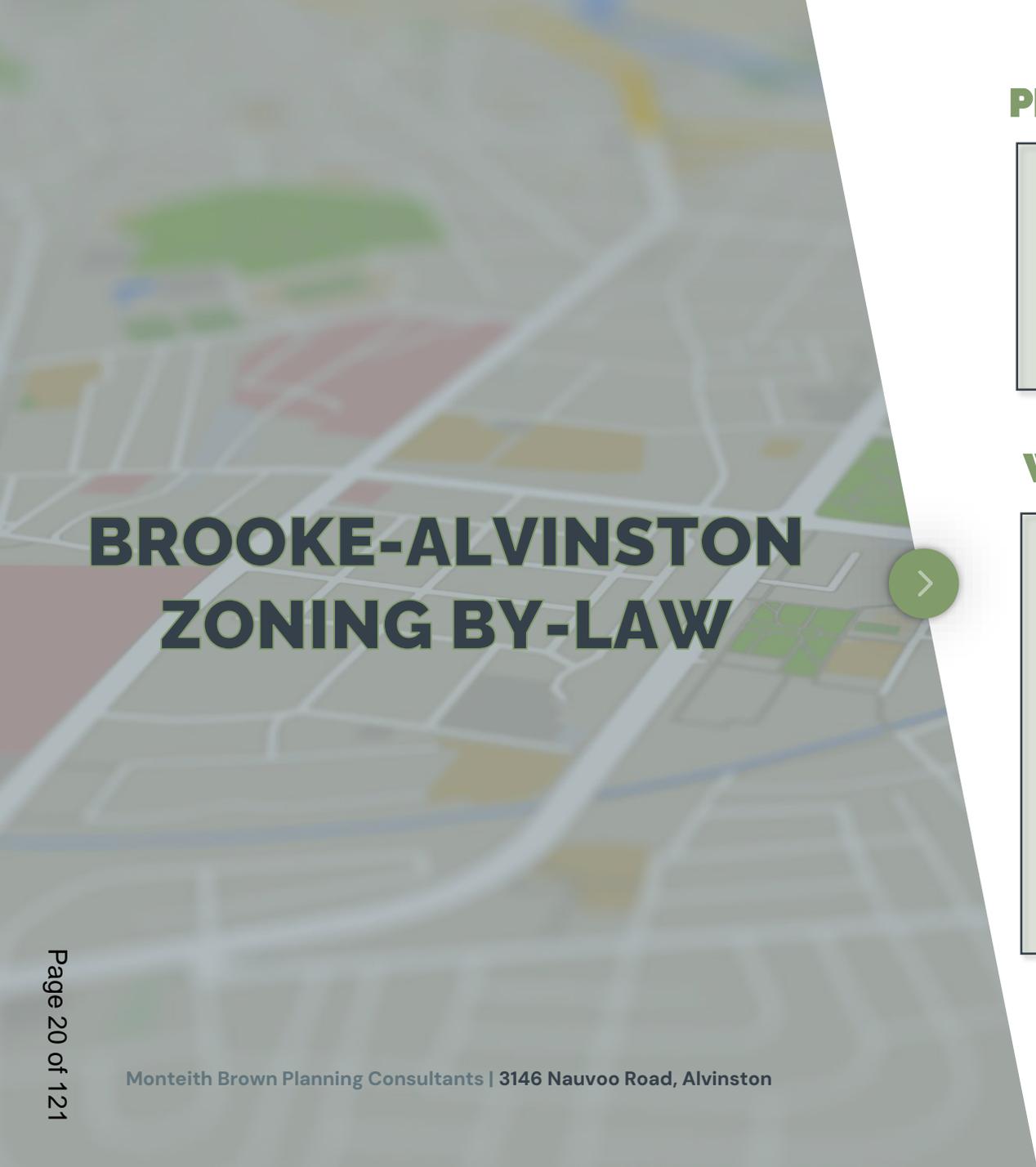
PROPOSED AMENDMENT TO THE ZONING BY-LAW

Site-specific Zoning By-law Amendment ('ZBA') to:

- **REZONE** 90 single detached lots **FROM** an R1 Zone **TO** a Site-Specific R1 Zone

WHAT IS BEING REQUESTED?

- **Reduced** lot areas ranging from 405 m² (0.1 acres) to 465 m² (0.11 acres).
- **Reduced lot** frontages ranging from 15 metres (49 ft) to the smallest being 13 metres (42 ft).
- **Increased** maximum lot coverage of 45%, whereas the By-law requires a maximum of 30%.



BROOKE-ALVINSTON ZONING BY-LAW

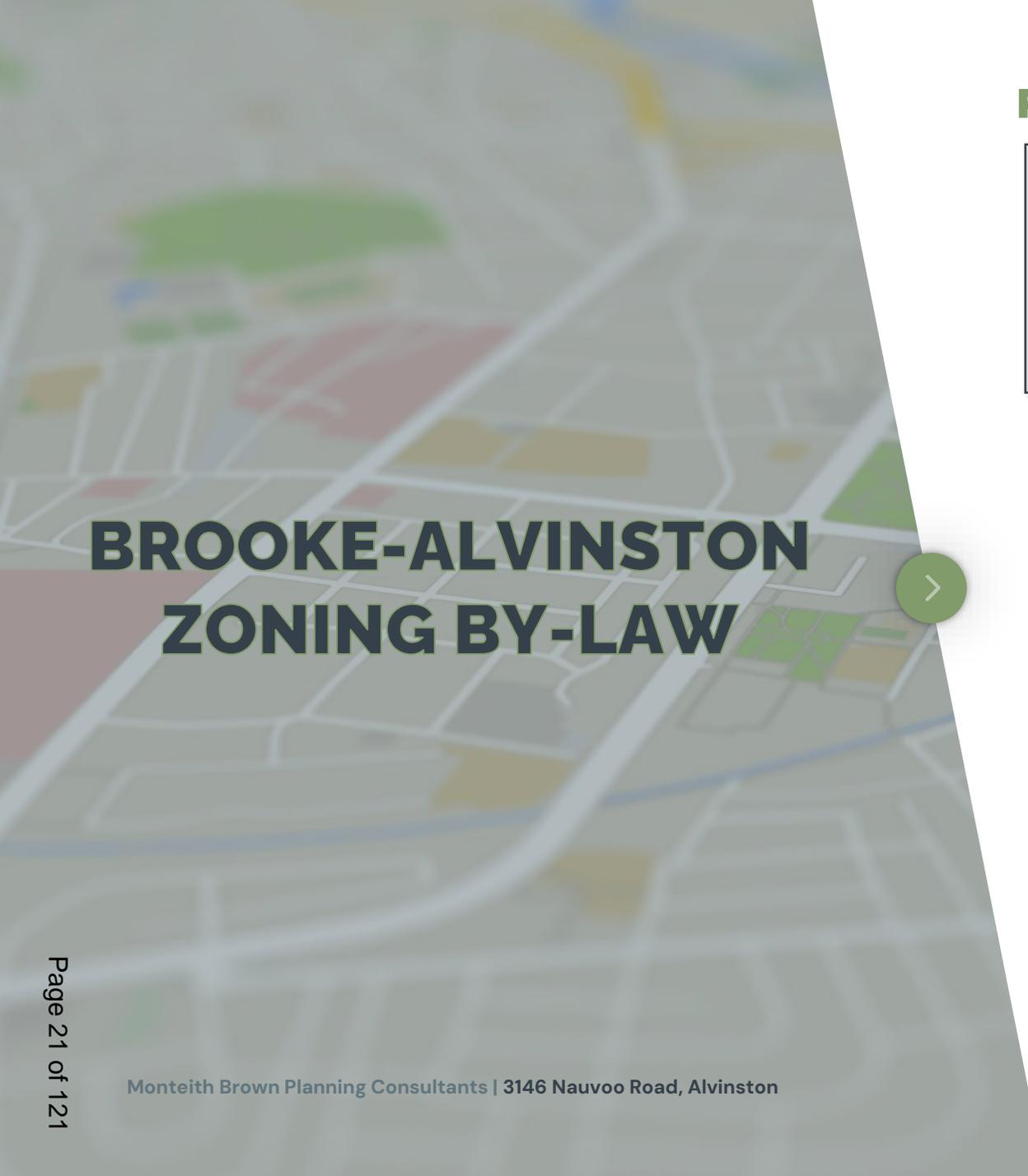
PROPOSED AMENDMENT TO THE ZONING BY-LAW

Site-specific Zoning By-law Amendment ('ZBA') to:

- **REZONE** 12 medium density blocks **FROM** an R1 zone **TO** a Site-Specific R3 Zone.

WHAT IS BEING REQUESTED?

- **Permit** street facing townhouse units.
- **Reduced** lot area of 190 m² per unit, whereas the by-law requires a minimum of 280 m² per unit
- **Reduced** minimum interior side yard setback of 1.2 metres, whereas the By-law requires a setback of 3 metres.
- **Increased** maximum lot coverage of 55%, whereas the By-law requires a maximum lot coverage of 40%.



BROOKE-ALVINSTON ZONING BY-LAW

PROPOSED AMENDMENT TO THE ZONING BY-LAW

Site-specific Zoning By-law Amendment ('ZBA') to:

- **REZONE** medium density Block 113 **FROM** an R1 zone **TO** an R3 zone.

WHAT IS BEING REQUESTED?

- **Permit** cluster townhouse units.
- Future development would comply with the zoning requirements of the R3 zone that are currently within the Municipality's Zoning By-law.

Conclusions



The proposed Zoning By-law Amendment & Draft Plan of Subdivision Applications are:

Consistent with the Provincial Planning Statement

Confirms to the County & Local Official Plans

Maintains the general intent & purpose of the Municipal Zoning By-Law

Represents sound land-use planning

- Contributes to the increase in supply and the range of dwelling types offered within the community;
- Promoting efficient use of land by proposing development on existing municipal services; and,
- Propose development that is compatible with adjacent land uses and does not result in negative impacts.



Thank You

219 Oxford Street West, Unit 302, London, Ontario N6H 1S5

www.mbpc.ca | 519.686.1300



**MUNICIPALITY OF BROOKE-ALVINSTON
NOTICE OF PUBLIC MEETING**

CONCERNING A PROPOSED ZONING BY-LAW AMENDMENT

TAKE NOTICE that the Council of the Corporation of the Municipality of Brooke-Alvinston will hold a Public Meeting on June 19, 2025, at 4:30 p.m. in the Municipal Council Chambers to consider a proposed Zoning By-law Amendment under Section 34 of the Planning Act, R.S.O. 1990, as amended.

THE PROPOSED ZONING BY-LAW AMENDMENT would amend the Municipality of Brooke-Alvinston Comprehensive Zoning By-law 9 of 2013 by changing the zoning on lands located at 3146 Nauvoo Road from the “**Residential 1 (h) (R1-h)**” into several separate zones, as shown in Appendix 1, to accommodate a range and mix of housing options related to a proposed Plan of Subdivision (**38T-25002**).

The proposed “**Residential 1 (R1)**” zone is an existing zone that would permit lots intended for single detached dwellings. The proposed “**Residential 1 – Site Specific (R1-*)**” zone would permit lots also intended for single detached dwellings but with minimum lot frontages of 13 m, minimum lot areas of 405 m², and maximum lot coverages of 45%, whereas the standard R1 Zone requires 15m minimum lot frontages, 465 m² minimum lot areas, and 30% maximum lot coverage. The proposed “**Residential (R3)**” zone is the Municipality’s standard multiple dwelling zone and would permit a block intended to be developed for townhouse units. The proposed “**Residential 3 – Site Specific (R3-*)**” zone would permit a number of blocks also intended for townhouse units but permitting a density of one unit per 200 m² of lot area, a maximum lot coverage of 55%, and minimum interior side yard setbacks of 1.2 metres, whereas the standard R3 Zone permits one unit per 280m² of lot area, maximum lot coverage of 40%, and 3 m minimum interior side yards. The proposed “**Open Space 1 (OS1)**” zone would apply to proposed stormwater management and servicing blocks.

THE KEY MAP shows more particularly the lands affected.

An application for draft approval of a Plan of Subdivision (file 38T-25002) has also been submitted with respect to the subject lands and is under consideration by the County of Lambton.

ANY PERSON may attend the public meeting and/or make written or oral representation either in support of or in opposition to the proposed Zoning By-law Amendment. If you wish to submit a written or make an oral presentation at the public hearing, please contact the Municipality of Brooke-Alvinston no later than 4:30 p.m. on June 18, 2025.

WRITTEN SUBMISSIONS in respect of the proposed Zoning By-law Amendment can be made to the Clerk of the Municipality of Brooke-Alvinston.

IF A PERSON or public body does not make oral submissions at the public meeting or make written submissions to the Municipality of Brooke-Alvinston before the Zoning By-law Amendment is passed the person or public body is not entitled to appeal the decision of the Municipality of Brooke-Alvinston to the Ontario Land Tribunal.

IF A PERSON or public body does not make oral submissions at a public meeting or make written submissions to the Municipality of Brooke-Alvinston before the Zoning By-law Amendment is passed they may not be added as a party to the hearing of an appeal before the Ontario Land Tribunal unless, in the opinion of the Tribunal, there are reasonable grounds to do so.

IF YOU WISH to be notified of the proposed Zoning By-law Amendment being passed, you must make a written request to the Clerk of the Municipality of Brooke-Alvinston.

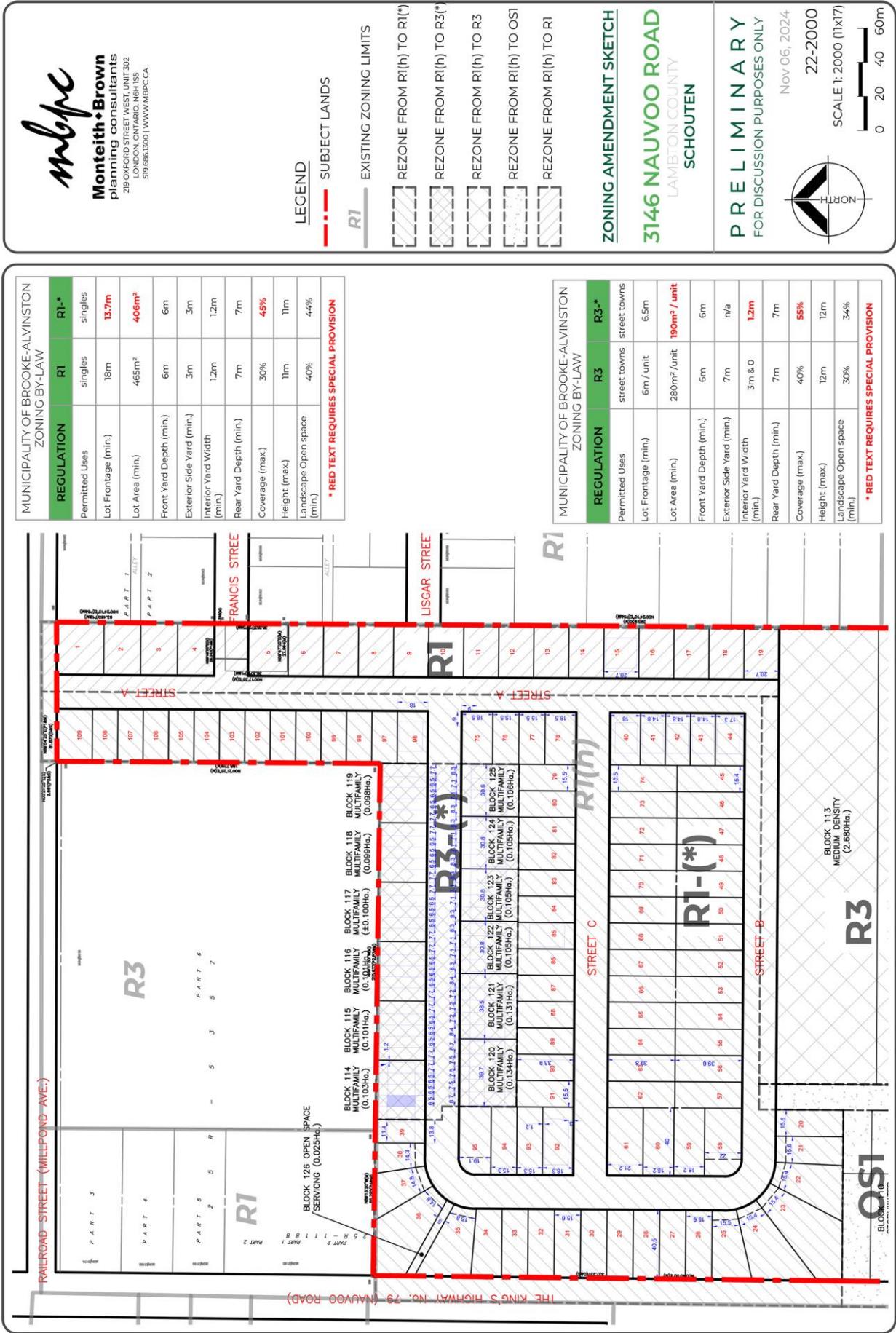
THE PROPOSED AMENDMENT will be available for public inspection during regular office hours at the Brooke-Alvinston Municipal Office, located at 3236 River Street in Alvinston and at the public meeting.



Janet Denkers
Municipality of Brooke-Alvinston
3236 River Street, Box 28
Alvinston, ON N0N 1A0
~
Telephone: 519-898-2173
Fax: 519-898-5653
Email: jdickers@brookealvinston.com

Dated: ___May 15___, 2025

Appendix 1:



**MUNICIPALITY OF BROOKE-ALVINSTON
APPLICATION FOR AMENDMENT TO
ZONING BY-LAW 9 OF 2013**

FILE NO. _____

DATE _____

NAME OF OWNER Calvin Schouten	NAME OF AGENT (if the applicant is an agent authorized by the owner) MBPC Planning
ADDRESS 8547 Lasalle Line, Watford ON, N0M 2S0	ADDRESS 302-219 Oxford St W, London ON, N6H 1S5
e-mail address calvin@schouten.ca	e-mail address jmcguffin@mbpc.ca
TELEPHONE [REDACTED]	TELEPHONE [REDACTED]

NAME OF HOLDER OF MORTGAGE (or Charge or Encumbrance) 1339407 Ontario Inc.	NAME OF HOLDER OF MORTGAGE (or Charge or Encumbrance)
ADDRESS 11 Iroquois Rd, Leamington ON, N8H 3V7	ADDRESS
e-mail address	e-mail address

OFFICIAL PLAN - current designation	ZONING - current zone
Brooke-Alvinston Official Plan - Residential	"Residential 1 - Holding (R1-h)"

DIMENSIONS OF SUBJECT LAND:		
Frontage: 81.8 metres	Depth: 525 metres	Area: 14.2 hectares

REZONING - Nature and extent of rezoning requested:
Rezoning the subject lands to permit reduced lot areas and frontages for residential lots. Application would also rezoning approximately 3.96 hectares of the subject lands to permit townhouse units. Site-specific provisions are proposed to permit street facing townhouses units with reduced lot areas.
Attach additional page if necessary See Planning Justification Report

DATE - Subject land was acquired by current owner on: June 1, 2023

LEGAL DESCRIPTION of subject land (such as the municipality, concession and lot numbers, registered plan and lot numbers, reference plan and part numbers and name of street and number, municipal address, and assessment roll number, if known)
Part of Lot 19, Concession 5 (Geographic Township of Brooke)
Note: See page 4 for details of sketch required.

If the subject land is within an area where the municipality has pre-determined the minimum and maximum density requirements or the minimum and maximum height requirements, a statement of these is required.
Low Density Residential Max. Density: 20 units per residential hectare
Medium Density Residential Max. Density: 35 units per residential hectare

If the application implements an alteration to the boundary of an area of settlement or implements a new area of settlement, details of the official plan or official plan amendment that deals with the matter is required.

N/A

If the subject land is within an area where zoning with conditions applies, an explanation of how the application conforms to the official plan policies relating to zoning with conditions is required.

N/A

If the application is to remove land from an area of employment, details of the official plan or official plan amendment that deals with the matter is required.

N/A

ACCESS - Access to the subject land will be by:

Provincial highway Municipal Road - seasonal County Road

Municipal Road - year round Right-of-way Private Road

Water (specify)..... Other public road

WATER ACCESS - Where access to the subject land is by water only:

Docking facilities (specify) _____ Parking facilities (specify) _____
 distance from subject land..... distance from subject land

distance from nearest public road..... distance from nearest public road.....

EXISTING USES of the subject land:	LENGTH OF TIME the existing uses of the subject land have continued:
Agriculture	

EXISTING BUILDINGS – STRUCTURES - Where there are any buildings or structures on the subject land, indicate for each:

TYPE - N/A
 Height in metres:

DATE CONSTRUCTED.....

Dimensions:
 Floor Area:
 Front lot line setback:
 Rear lot line setback:
 Side lot line setback:
 Side lot line setback:

TYPE - N/A
 Height in metres:

DATE CONSTRUCTED.....

Dimensions:
 Floor Area:
 Front lot line setback:
 Rear lot line setback:
 Side lot line setback:
 Side lot line setback:

attach additional page if necessary

PROPOSED USES of the subject land
Single detached dwellings and townhouse units

PROPOSED BUILDINGS – STRUCTURES - Where any buildings or structure are proposed to be built on subject land, indicate for each:

TYPE - Single detached dwellings in accordance with requirements of R1 zone.
 Height in metres:

DATE CONSTRUCTED.....

Dimensions:
 Floor Area:
 Front lot line setback:
 Rear lot line setback:
 Side lot line setback:
 Side lot line setback:

TYPE - Townhouse units in accordance with the requirements of the R3 zone
 Height in metres:

DATE CONSTRUCTED.....

Dimensions:
 Floor Area:
 Front lot line setback:
 Rear lot line setback:
 Side lot line setback:
 Side lot line setback:

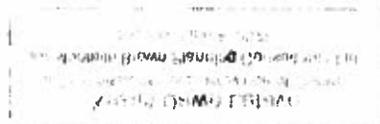
attach additional page if necessary

**PLANS REQUIRED
IT WILL BE NECESSARY TO SUBMIT PRELIMINARY SITE PLANS
FOR THE DEVELOPMENT AT THE TIME OF THE FILING OF THIS APPLICATION**

Minimum requirements will be a sketch showing the following

1. The boundaries and dimensions of the subject land.
2. The locations, size and type of all existing and proposed buildings and structures on the subject land, indicating the distance of the buildings or structures from the front yard lot line, rear yard lot line and the side yard lot lines.
3. The approximate location of all natural and artificial features on the subject land and on land that is adjacent to the subject land that, in the opinion of the applicant, may affect the application. Examples include buildings, railways, roads, watercourses, drainage ditches, river or stream banks, wetlands, wooded areas, wells and septic tanks.
4. The current uses on land that is adjacent to the subject land.
5. The location, width and name of any roads within or abutting the subject land, indicating whether it is an unopened road allowance, a public traveled road, a private road or a right-of-way.
6. Off-street parking, and loading (if required) and access thereto, including the dimension of the spaces and aisles.
7. The location and nature of any easement or rights of way affecting the subject land.
8. Scale of site plan (metric preferred) and north arrow.

The Planning Act contains time-lines regarding the processing of this application. These time lines are based on the date on which the **complete** application was received. A notification will be sent to the applicant when a **complete** application has been received.



PROPOSAL FOR PROFESSIONAL PLANNING SERVICES

Proposed Residential Subdivision

Alvinston, Ontario

AUTHORIZATION OF AGENT

I/We, Calvin Schouten, are the owner(s) of the lands known municipally as 3146 Nauvoo Road in the Municipality of Brooke-Alvinston, Ontario. I/We authorize **MONTEITH BROWN PLANNING CONSULTANTS** to act on our behalf as our agent for the submissions required for all required municipal planning approvals, including but not limited to Official Plan Amendments, Zoning By-Law Amendments, Draft Plans of Condominium, Draft Plans of Subdivision, Site Plan Approval, Minor Variance and Consent and to provide any of our personal information that will be collected during the planning process in connection with these planning approvals.

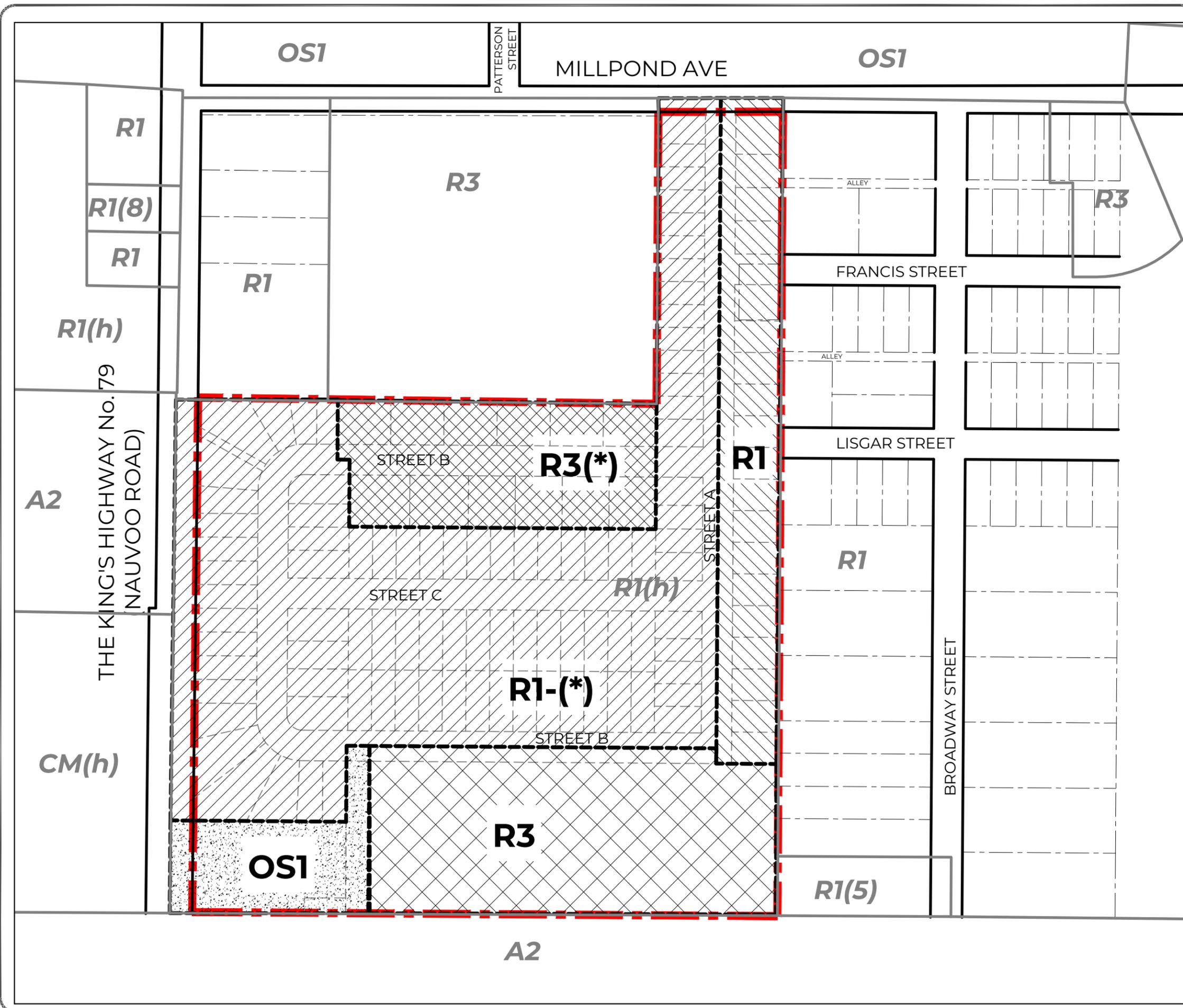


Signature of Representative(s)

(I have the Authority to Bind the Corporation)

June 20, 2022

Date



Monteith♦Brown
 planning consultants
 219 OXFORD STREET WEST, UNIT 302
 LONDON, ONTARIO, N6H 1S5
 519.686.1300 | WWW.MBPC.CA

LEGEND

-  SUBJECT LANDS
-  **R1** EXISTING ZONING LIMITS
-  REZONE FROM R1(h) TO R1(*)
-  REZONE FROM R1(h) TO R3(*)
-  REZONE FROM R1(h) TO R3
-  REZONE FROM R1(h) TO OS1
-  REZONE FROM R1(h) TO R1

ZONING AMENDMENT SKETCH

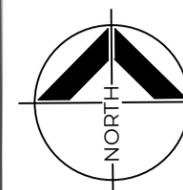
3146 NAUVOO ROAD
 LAMBTON COUNTY
 SCHOUTEN

PRELIMINARY
 FOR DISCUSSION PURPOSES ONLY

Aug 01, 2024

22-2000

SCALE 1: 2500 (11x17)



August 12, 2024
Revised February 10, 2025

Planning Justification Report

Proposed Zoning By-law Amendment & Plan of Subdivision Application

3146 Nauvoo Road
Alvinston, ON

Prepared For:

Calvin Schouten
8547 LaSalle Line
Watford, ON, N0M 2S0



Prepared By:



Monteith Brown Planning Consultants
219 Oxford St. W, Unit 302, London, Ontario, N6H 1S5
519.686.1300 | www.mbpcc.ca

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1.0 Introduction

1.1 Purpose

Monteith Brown Planning Consultants (“MBPC”) on behalf of our client, Calvin Schouten, is pleased to submit an application for a Draft Plan of Subdivision and Zoning By-law Amendment to amend the Municipality of Brooke-Alvinston Zoning By-law as it applies to 3146 Nauvoo Road in the Municipality of Brooke-Alvinston (“the subject lands”), which are under our client’s ownership.

The purpose of these applications is to permit a mixed-density residential development on the subject lands consisting of a total of 109 low density residential lots, 12 townhouse blocks containing 56 units, one medium density block containing approximately 79 cluster townhouse units, and four blocks to accommodate servicing and stormwater management infrastructure. The subdivision has been designed to facilitate the provision of a range of future residential uses that would be compatible with the existing built-up areas in the settlement of Alvinston.

The intent of this report is to analyze the land use planning merits of the proposed Draft Plan and Zoning By-law Amendment to determine the appropriateness of the proposed development. The proposal will be analyzed within the context of the surrounding community and the relevant planning documents, including the Provincial Policy Statement 2020, the Lambton County Official Plan, the Municipality of Brooke-Alvinston Official Plan, and the Municipality of Brooke-Alvinston Zoning By-Law 9 of 2013.

1.2 Site Description

The subject lands have an area of approximately 14.2 hectares (35 acres), with approximately 330 metres of frontage on Nauvoo Road (County Road 79) and approximately 78 metres of frontage on Millpond Avenue. The subject lands also front onto road allowances for Francis Street and an unopened road allowance of Lisgar Street along the eastern property boundary. The site is relatively flat while gently sloping down towards the southwestern corner of the property and is currently vacant and used for agricultural purposes, specifically field crop production.

Figure 1 | Aerial View of Subject Lands



Source: Lambton County Mapping, 2020 Aerial Image

*Figure 2 | Photo of Subject Lands
View Looking South from Millpond Avenue*



Source: Google Maps, June 2023

*Figure 3 | Photo of Lands
View Looking East from Nauvoo Road*



Source: Google Maps, June 2023

1.3 Land Use Context

The subject lands are located on the southern boundary of the Alvinston settlement area. To the south are agricultural lands used for field crop production. Directly to the west is Nauvoov Road with commercial and industrial lands used as a municipal public works yard and vacant residentially designated lands beyond. To the north of the subject lands are a low-rise townhouse development, Millpond Avenue, and an open space block for a hydro corridor. To the east are low density residential uses with the East Sydenham River further to the east.

Figure 4 | Land Use Context



Source: Lambton County Mapping, 2024

1.4 Pre-Application Consultation

A Pre-consultation Meeting was held on May 26, 2022, with the County of Lambton and the Municipality of Brooke-Alvinston. The pre-consultation minutes from the meeting are enclosed in Appendix 1 of this report. At the pre-consultation meeting, staff

identified that the following items would be required for a complete Zoning By-law Amendment & Plan of Subdivision Application:

1. Draft Plan of Subdivision
2. Legal boundary survey prepared by an Ontario Land Surveyor
3. Planning Justification Report
4. Phase I Environmental Site Assessment
5. Archaeological Assessment
6. Geotechnical Report
7. Traffic Impact Study
8. Preliminary Servicing and Stormwater Management Report
9. Natural Heritage Report (including Species at Risk Report if consultant determines it to be needed)

The materials outlined above will be provided as part of the complete application submission package and will be detailed in the sections below.

2.0 Development Proposal

Our client is proposing to develop the property as a multi-density residential subdivision that would provide a range of residential uses and much needed housing during a province-wide housing crisis. A total of 244 units are proposed within the Draft Plan. This includes 109 low density residential lots fronting onto public streets. Lots 1 through 19 are proposed to be larger in area, ranging from approximately 554 m² to 728 m² and with frontages of 18 m to 20.7 metres. These larger lots are proposed along the eastern boundary of the development to be more compatible with the existing larger residential lots to the east. These lot sizes would then transition to lots that are reduced in size with areas ranging from 450 m² to 462 m² in area and with frontages ranging from 13 metres to 15 metres. These lots would be typical of more modern subdivisions on full municipal services.

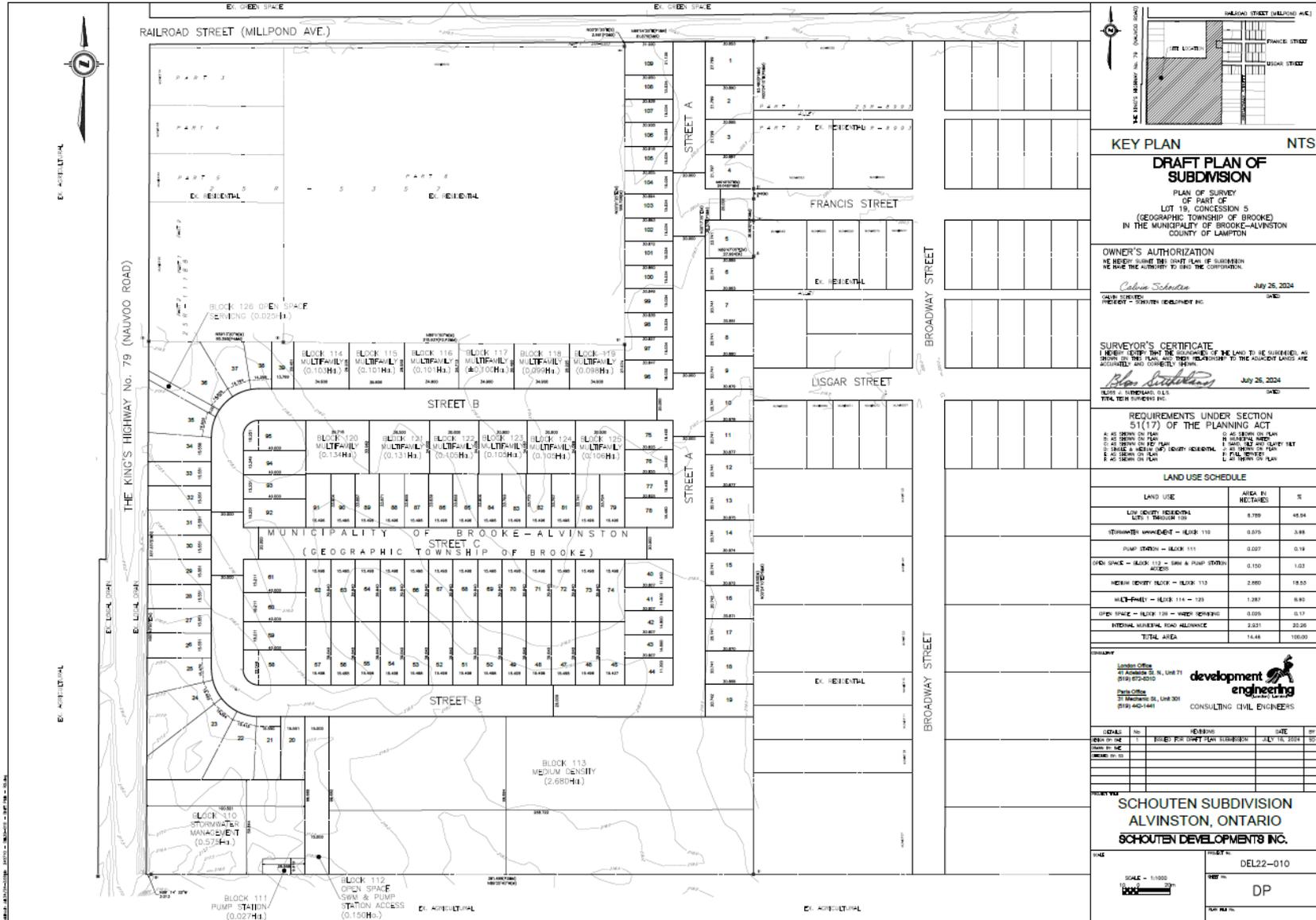
Three new streets (Street A, B and C) are proposed to provide access to each of the lots and blocks within the subdivision, with the primary access being from Millpond Avenue and a secondary access to Francis Street.

The proposed development would transition to 12 medium-density townhouse blocks located in the central part of the subdivision that would contain 56 townhouse units. Blocks 114 through 121 would contain 5 units per block and Blocks 122 through 125 would contain 4 units per block.

Block 113 is proposed as a future multi-density block approximately 2.68 hectares in size. The proposed medium density block would contain a future medium density residential development of cluster townhouses. While there is not a formal development proposal for this Block currently, it is proposed to potentially contain 79 townhouse units.

A stormwater management pond is proposed in the southwestern corner of the subject lands which reflects existing drainage patterns that slopes towards this low lying area of the site. The draft plan also includes an access block and a block to accommodate a pumping station for the sanitary sewer infrastructure. Block 126 is also proposed in the northwestern corner of the property to provide routing of servicing infrastructure for the proposed development.

Figure 5 | Draft Plan of Subdivision



Source: Development Engineering, 2024

3.0 Background & Technical Studies

3.1 Environmental Impact Study (EIS)

NRSI was retained by our client to prepare an Environmental Impact Study to assess any impacts of the proposed development on natural heritage features. No features are identified on the subject lands in the County Official Plan or Brooke-Alvinston Official Plan; however, a site visit and evaluation were conducted to determine if there were any unmapped features. No habitat for threatened or endangered species, or other natural heritage features were identified on the subject lands. Vegetation is limited to hedgerows which are determined to not be significant. Additionally, no significant wildlife species were identified on the property. The report recommends that removal of trees should take place outside of April 1 to Aug 31 to prevent any impacts to nesting birds, which can be addressed through a subdivision agreement.

3.2 Traffic Impact Study

A Traffic Impact Study was completed by RC Spencer Associates to assess any potential impacts on the existing roadway as a result of the proposed development. The report concludes that the proposed development will not adversely impact area traffic operations on either Millpond Avenue or Nauvoo Road and roadway improvements are not required based on the level of traffic generated.

3.3 Geotechnical Report

EXP was retained by our client to conduct a geotechnical investigation to provide an assessment of the subsoil and groundwater conditions of the subject lands, as well as recommendations for site alteration and construction required to facilitate the proposed development. The report outlines recommendations regarding site grading and placement of fill, dewatering during excavation in areas with a shallow water table, building foundation specifications, and the installation of infrastructure.

3.4 Stage I & II Archaeological Assessment

Lincoln Environmental Consulting was retained to prepare a Stage I & II Archaeological Assessment of the subject lands. The Stage II Assessment was completed on May 18th, 2022, and it was determined that there are no archaeological resources identified on the subject lands. The report prepared by LEC concludes that no further archaeological assessment of the site is recommended.

3.5 Phase I Environmental Site Assessment (ESA)

EXP has prepared a Phase I Environmental Site Assessment which has been submitted alongside this report. The ESA concludes that there are no potential environmental concerns associated with the subject lands and no further evaluation of the site is recommended.

3.6 Functional Servicing Report

Development Engineering Limited was retained to prepare a Preliminary Servicing & Stormwater Management Report. The proposed on-site grading reflects the existing drainage patterns with the proposed stormwater management facility located at the lowest point in the southwestern corner of the subject lands. Rear yard swales and catch basins will direct stormwater from individual lots into the proposed stormwater management system. The report demonstrates that there is sufficient water and wastewater capacity to service the proposed development. The proposed development would tie into existing water infrastructure located along Nauvoo Road, Millpond Avenue, and Francis Street. Sanitary servicing would be provided by gravity fed sewers to a pumping station located in the southwestern corner of the subject lands before being pumped to the existing sanitary sewer at the terminus of Francis Street.

4.0 Planning Framework & Analysis

The following section will provide an overview and analysis of the existing planning framework, identify the key policies and by-laws that relate to the subject lands, and discuss the Consent Application proposed.

The subject lands are located within a two-tiered municipality, being subject to the Provincial Policy Statement 2020 (“PPS”), Lambton County Official Plan (“COP”), Brooke-Alvinston Official Plan (“BAOP”) and Brooke-Alvinston Zoning By-law 9 of 2013 (“Alvinston ZBL”). The St. Clair Regional Conservation Authority (“SCRCA”) is the local conservation authority regulating natural hazard features.

4.1 Provincial Policy Statement

The PPS provides policy direction on matters of provincial interest related to land use planning and development. Any decision by a planning authority that requires approval under the Planning Act “shall be consistent with” policy statements issued under the Act. The PPS is intended “to be read in its entirety”, and decision makers must balance a range of policy directives when deciding whether or not a planning proposal is consistent with the PPS, rather than prioritizing one set of policies over another (PPS, Part III).

The proposed consent is consistent with Provincial policy directives regarding healthy, liveable, and safe communities and development within settlement areas, as the proposed residential development will contribute to increased housing supply and the provision of a range of housing options within the surrounding community (Policies 1.1.1 a) and b)). The subject lands are located within a serviced settlement area and the applications propose a mixed-density development for the site that would be located adjacent to the existing built-up area (s. 1.1.3.1, 1.1.3.2, 1.1.3.6). The PPS also directs municipalities to provide a range of mix of housing options and densities and directing development to areas with appropriate levels of servicing available. The proposed development proposes a variety of residential densities and uses, including lots for low density residential uses and townhouse dwellings that would be development on full municipal services (s. 1.4.3, 1.6.6.1, 1.6.6.2). The subject lands are proposed to be serviced by municipal water and sanitary sewer systems.

Development and site alteration is not permitted on lands containing archaeological resources or areas of archaeological potential unless significant archaeological resources are conserved (s. 2.6.2). There are no designated heritage features identified on the subject lands or adjacent properties. A Stage I & II Archaeological Assessment was prepared for the subject lands and determined that there are no archaeological resources identified on the subject lands.

The PPS also does not permit development and site alteration within or on lands adjacent to natural heritage features unless it has been demonstrated that there will be no negative impacts on the natural heritage features or their functions (s. 2.1.1, 2.1.5, 2.1.8). The subject lands and adjacent lands do not contain any designated natural

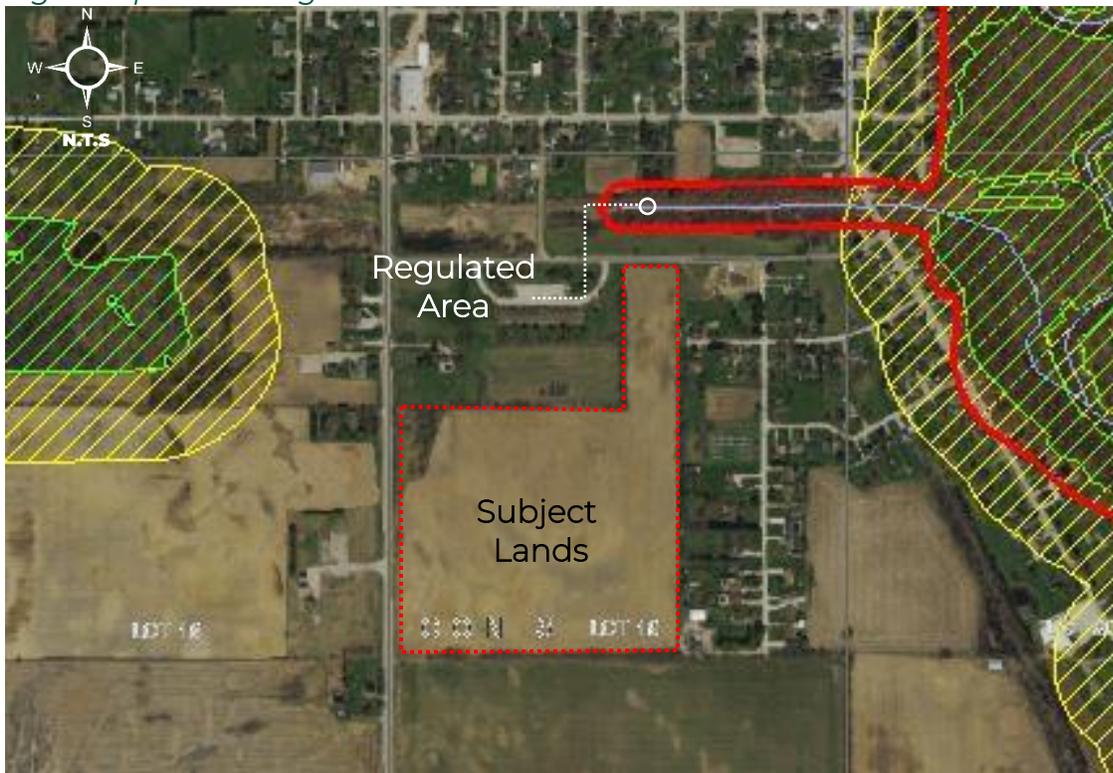
heritage or natural hazard features. An Environmental Impact Study was prepared and determined that there would be no negative impacts on natural heritage features in the surrounding area and their ecological functions.

Following the above analysis, the applications are consistent with the Provincial Policy Statement.

4.2 St. Claire Region Conservation Authority

A review of SCRCA Regulation Mapping has confirmed that the subject property does not contain any identified hazard lands or areas regulated by the Authority as illustrated in Figure 6 below.

Figure 6 | SCRCA Regulated Areas



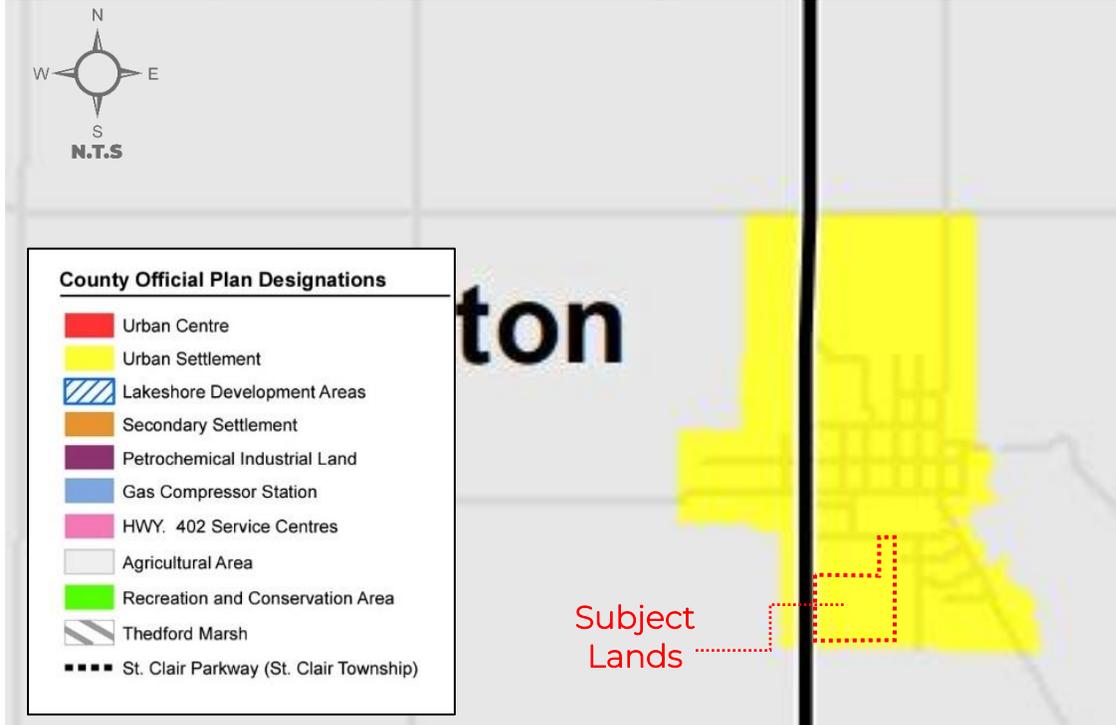
Source: SCRCA, 2022

4.3 Lambton County Official Plan

The County of Lambton is a two-tier planning two-tier planning system in which planning responsibilities are divided between the County and the local level. Under this system, the County Official Plan provides an overall County planning policy framework for the development of detailed local planning policies.

The COP designates the subject lands as being located within the 'Urban Settlement' of Alvinston (Figure 6). Nauvoo Road is designated as a 'County Road', while Millpond Avenue is a 'Local Road'. The COP provides direction in focusing growth towards areas within established Urban Centres and Urban Settlements (s. 3).

Figure 6 Excerpt from Map 1 - Growth Strategy



Source: Lambton County Official Plan

Urban Settlements are intended to provide necessities and services to surrounding settlements and agricultural areas, although to a lesser scale and variety than 'Urban Centres' (s. 3.2.3). Development on full municipal services is preferred and development proposals shall have regard for stormwater drainage (s. 3.2.3, 7.10). The proposed development is able to be serviced by full municipal services and stormwater management will be addressed appropriately as discussed within the submitted Preliminary Servicing Brief. The Traffic Impact Study has also concluded that there will be no adverse impacts on the County of local roadways as a result of the increase in traffic volumes from the proposed development (s. 7.1.9).

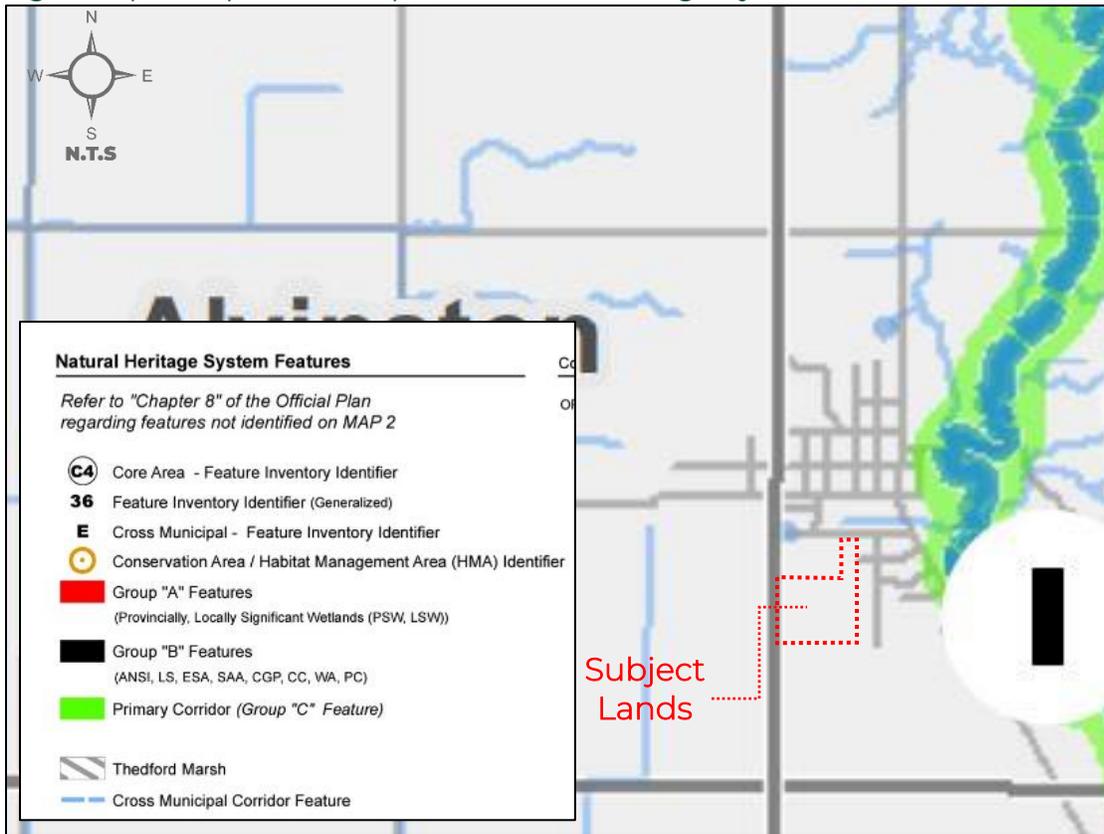
Section 10.5 of the COP sets out criteria for the evaluation of draft plans of subdivision. New developments will only be permitted where in the public interest, are not premature, and where they represent an efficient use of land (s 10.5.1, 10.5.2). The proposed residential development would address increased demand for housing that is being experienced in the area, as well as in communities across the province. The development will be integrated into the adjacent existing residential community on lands designated for residential purposes and will provide a range and mix of housing options that make efficient use of the land and infrastructure. Sufficient municipal services are available to support the development and stormwater management will be adequately addressed on-site (s. 10.5.4 a, b). The proposed subdivision will have two points of access for emergency services and the Traffic Impact Study completed concludes that there will be no traffic hazards as a result of the development (s. 10.5.4 c, d). The residential development has been designed to have varying sizes of lots, with

larger lots proposed adjacent to the existing residential uses to the east, to be compatible with the established community (s. 10.5.4j).

A Stage I & II Archaeological Assessment was prepared for the subject lands and concluded that there are no archaeological resources identified on the site (s. 2.2.13).

The COP does not identify any natural heritage features or natural hazards on or adjacent to the subject lands (Figure 7). An Environmental Impact Study was completed for the subject lands which demonstrates that there will be no negative impacts on natural heritage features as a result of the proposed development.

Figure 7 | Excerpt from Map 2 - Natural Heritage System



Source: Lambton County Official Plan

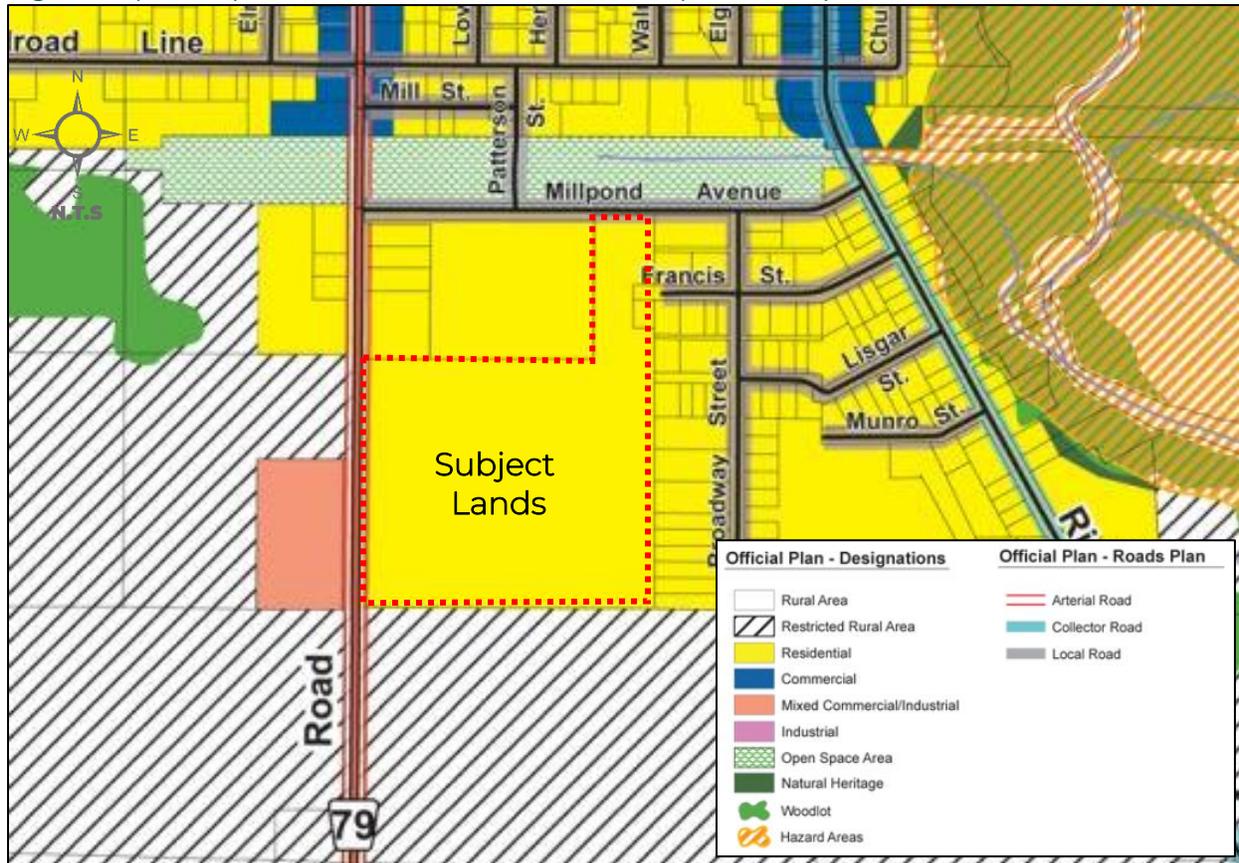
Considering the proposed Zoning By-law Amendment is in conformity with the County of Lambton Official Plan.

4.4 Municipality of Brooke-Alvinston Official Plan

The local Official Plan designates the subject lands as “Residential” which permits a range of residential uses, with the predominant use being low density residential uses, including single detached dwellings, semi-detached dwellings, and duplex dwellings, with a maximum density of 20 units per hectare (s. 2.1.1). Medium density uses are also permitted up to a maximum density of 35 units per hectare (s. 2.1.2). The Official Plan

gives preference to locating similar densities being located together and arranged in gradation to encourage compatibility between different densities of uses (s. 2.1).

Figure 11 | Excerpt from Part 2 of Schedule "A" (Alvinston)



Source: Municipality of Brooke-Alvinston Official Plan

The proposed development includes 109 low density lots that have a combined density of 16 units per hectare be the predominant use, making up approximately 47% of the subdivision. Lots with larger lots are proposed along the eastern boundary of the site and progress to smaller lots moving further to the west. Additionally, medium density blocks are proposed towards the centre and along the southern boundary of the subject lands to provide separation to the existing built-up areas within the settlement of Alvinston. The proposed 135 medium density units will have an aggregate density of 34 units per hectare.

The Official Plan encourages the development of residential uses that extend from exiting built-up areas, the incorporation of higher densities into new developments, and development that minimizes costs associated with extending servicing (s. 2.2.1). The proposed development would contribute to the supply of housing with a variety of housing types that would promote attainable housing options within the community (s. 2.2.5, 2.2.13, 2.2.14).

The proposed medium density residential uses would meet the specific criteria set out in Section 2.2.15 of the Official Plan. The subject lands have frontage on an arterial road

and the height of proposed buildings would not exceed two storeys. The proposed development can be adequately serviced by municipal water and sanitary sewer services (s. 3.1, 3.2).

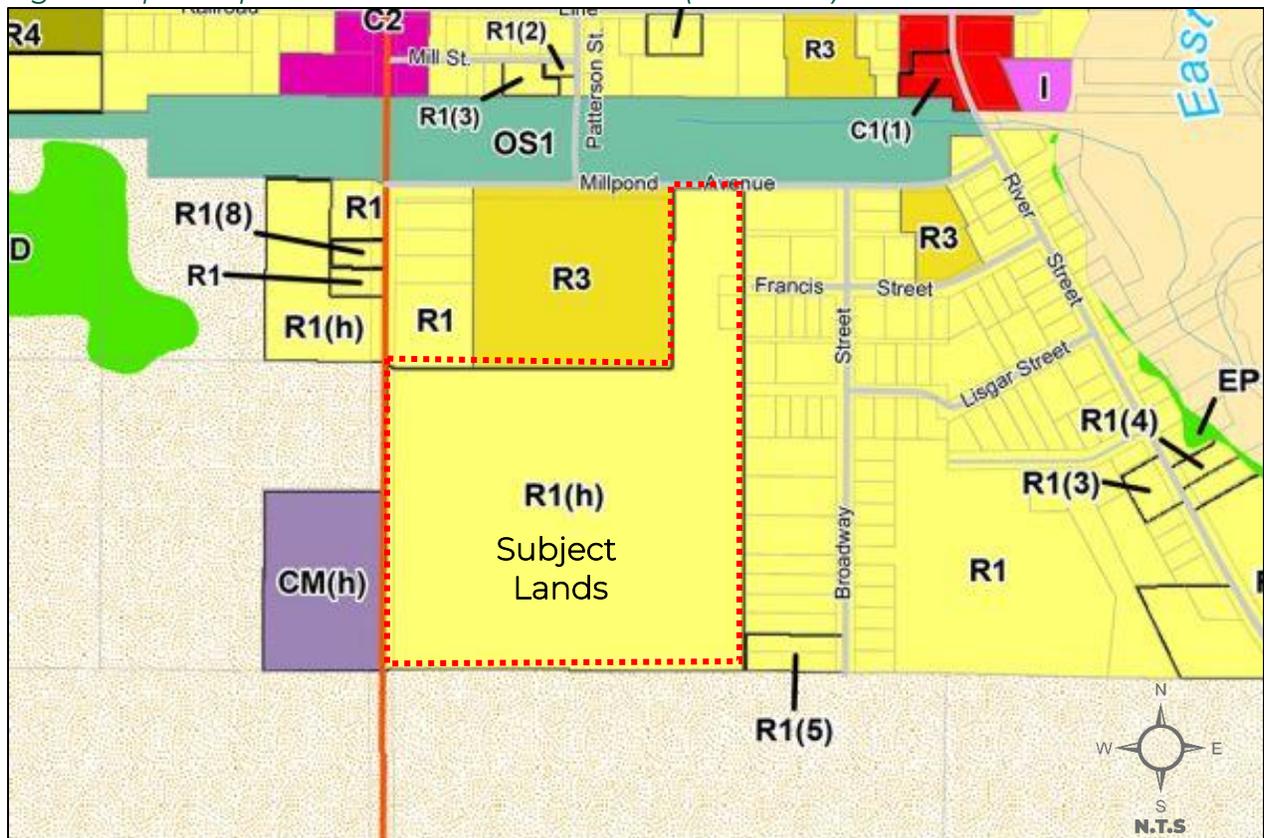
The proposed development is not premature in that it is located immediately abutting the built-up area of Alvinston and can be adequately serviced (s. 6.4.1, 6.4.4). The lot pattern, configuration, and range in density is appropriate for the subject lands and compatible with adjacent land uses (s. 6.4.2). The Preliminary Servicing Report and other supplementary studies have demonstrated that the existing topography, soil condition, and drainage patterns have been incorporated into the design of the proposed residential development.

In consideration of the above, the proposed development conforms to, and serves to appropriately implement the Brooke-Alvinston Official Plan.

4.5 Municipality of Brooke-Alvinston Zoning By-law 9 of 2013

The subject lands are currently zoned “Residential 1 - Holding (R1-h)” in the Brooke-Alvinston Zoning By-law. The R1 zone permits low density residential uses including single detached dwellings, semi-detached dwellings, and duplex dwellings. The R1 zone also requires a minimum lot area of 465 m² and a minimum lot frontage of 18 metres.

Figure 12 | Excerpt from Part 2 of Schedule “A” (Alvinston)



Source: Municipality of Brooke-Alvinston Official Plan

The holding zone that applies to the subject lands requires the registration of a subdivision agreement before the holding zone can be removed.

Proposed Zoning By-law Amendment

The subject lands are proposed to be rezoned into several separate zones to accommodate a range and mix of housing options. Lots along the eastern boundary of the site are larger than the minimum size required in the Zoning By-law and are proposed to remain in the R1 zone.

The proposed “**Residential 1 – Site Specific (R1-*)**” zone would apply to lots that have frontages ranging from 15 metres (49 ft) to the smallest being 13 metres (42 ft) and have lot areas ranging from 405 m² (0.1 acres) to 465 m² (0.11 acres). The site-specific zone would also permit a maximum lot coverage of 45%, whereas the By-law requires a maximum of 30%. The intent of the requirement for minimum lot frontage is to ensure sufficient access can be provided to the lot and to control the density of development along the road. The proposed reduction of up to five metres in lot frontage would not adversely impact access to the proposed lots and would reflect a more modern subdivision design and efficient use of the lands compared to the required 18 metre (59 ft.) frontage requirement.

The intent of the minimum lot area provision is to ensure that there is adequate area to accommodate development and servicing on a property. The subject lands are proposed to be serviced with full municipal water services, which would reduce constraints on the minimum lot area required. The proposed lot size would still contain sufficient area to permit the development of a dwelling on the proposed lots.

Block 113, which is proposed to contain approximately 79 medium density residential units, is proposed to be rezoned from “Residential 1 (R1)” to “**Residential (R3)**”. The supporting studies submitted with these applications have demonstrated that the proposed conceptual development of 79 cluster townhouse units can be adequately serviced by the proposed municipal servicing and would not result in adverse impacts to County and local roadways. A Site Plan Control application will be required to permit any future development on the subject lands and would address matters to landscaping, buffering, and on-site grading and drainage.

Blocks 114 through 125 are proposed to be rezoned from “Residential 1 (R1)” to “**Residential 3 – Site Specific (R3-*)**”. The proposed rezoning would permit townhouse units as a permitted use as well as:

- Permit a reduced lot area of 200 m², whereas the by-law requires a minimum of 280 m²;
- Permit a maximum lot coverage of 55%, whereas the By-law requires a maximum lot coverage of 40%;
- Permit a minimum interior side yard setback of 1.2 metres, whereas the By-law requires a setback of 3 metres.

The intent of the minimum lot area provision is to ensure that there is adequate area to accommodate development and servicing on a property. The proposed units would be on full municipal services and stormwater management will be appropriately addressed on-site. The more compact form of development would provide a more optimal use of the subject lands and smaller lot sizes would generally support the provision of more attainable housing options while still being of a sufficient size to accommodate the development of a dwelling unit on the proposed lots.

The intent of the maximum lot coverage provision is to prevent overdevelopment of a site and accommodate the appropriate management of stormwater. The proposed increase in coverage is not anticipated to impact the overland flow of water and the subdivision would be designed for all stormwater to be directed into a multi-stage outlet dry stormwater management pond. The increase in lot coverage is proposed to accommodate two single detached lots that, due to the configuration of the lots, the road layout, and the size of the subject lands, are smaller than most of the other proposed lots within the subdivision. The requested reduction in lot areas and increase in coverage provides for a more compact urban form that makes efficient use of land and services and aids in providing more affordable housing alternatives. To illustrate this, conceptual drawings have been provided (attached) to graphically represent the proposed building envelopes resulting from the proposed increase in coverage and demonstrate that adequate rear yard amenity space will be provided, and any future development will maintain the required front yard and rear yard setbacks.

The intent of the side yard setback provisions is to ensure there is adequate building separation and suitable access to rear yards. The provision of a 1.2 metre setback would provide adequate separation and access for the townhouse blocks. These types of adjustments to zoning standards are similar to development approvals in other municipalities, including the Municipality of Central Huron and Municipality of Thames Centre, where single detached lots and street townhouse projects were granted reduced side yard setbacks of 1.4 metres and increased lot coverage of 50%. While these other approvals do not set a precedent in the Municipality of Brooke-Alvinston, they are examples of how smaller communities are responding to increasing pressures in a range of attainable housing options.

The Brooke-Alvinston Zoning By-law does not appear to contain a zone used for infrastructure. Upon a review of the various zones included in the By-law, the proposed stormwater management and servicing blocks are proposed to be rezoned **“Open Space 1 (OS1)”**.

In summary, the proposed Zoning By-law Amendment will be consistent with the general intent and purpose of the Municipality of Brooke-Alvinston Zoning By-law.

5.0 Conclusion

Based on the above analysis, the proposed Consent applications, have regard for Section 2 and 54 of the Planning Act, are consistent with the Provincial Policy Statement, conform to both the Lambton County Official Plan and Brooke-Alvinston Official Plan and maintain the general intent and purpose of the Brooke-Alvinston Zoning By-law 9 of 2013 and represent good land use planning.

The following materials have been submitted to Lambton County Planning Department along with this report in support of the Zoning By-law Amendment and Draft Plan of Subdivision applications:

- One (1) copy of a Cover Letter;
- One (1) copy of the Zoning By-law Amendment Application
- One (1) copy of the Draft Plan of Subdivision Application
- One (1) copy of the Preliminary Reference Plan;
- One (1) copy of the Draft Plan
- One (1) copy of the Environmental Impact Study
- One (1) copy of the Geotechnical Report
- One (1) copy of the Stage I & II Archaeological Assessment;
- One (1) copy of the Phase I Environmental Site Assessment;
- One (1) copy of the Traffic Impact Study;
- One (1) copy of a Servicing and Storm Water Management Report; and
- One (1) copy of Servicing and Storm Water Management Plans;

The application fees will be submitted directly to the Municipality under separate cover by our client.

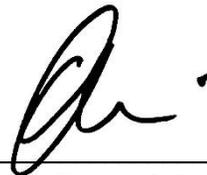
We trust that the enclosed information is satisfactory to address the submission requirements and look forward to working with staff to advance the applications. If you have any questions regarding this matter or require any additional information, please do not hesitate to contact me.

Respectfully Submitted,

MONTEITH BROWN PLANNING CONSULTANTS



Eric Steele
Planner
esteele@mbpc.ca



Jay McGuffin, MCIP, RPP
Vice President, Principal Planner
Jmcguffin@mbpc.ca

JMc:es

Appendix 1

Requirements for a Complete Application



Eric Steele

From: Rob Nesbitt <rob.nesbitt@county-lambton.on.ca>
Sent: Friday, March 25, 2022 4:04 PM
To: 'Calvin Schouten'; Shawn Duncan
Cc: Janet Denkers; 'rhills@brookealvinston.com'
Subject: Information/Reports to be submitted with Application for Draft Plan of Subdivision
Attachments: County of Lambton - Subdivision Condominium Application Form - Rev Dec 2019.pdf;
 County of Lambton - Subdivision Condominium Approval Procedures - App Guide Rev Dec 2019.pdf

Good afternoon,

It was good meeting with you. As discussed, the following reports will be required to be submitted with your application for draft plan of subdivision approval:

- A copy of the proposed lot layout
- Legal boundary survey prepared by an Ontario Land Surveyor
- Planning report
- Phase 1 Environmental Assessment report
- Archaeological assessment
- Geotechnical report
- Traffic impact study
- Servicing report
- Natural heritage report, including a Species at Risk report if your consultant determines it to be needed

Please note that application fees are not payable at the time of submitting your application. Once the application is determined to be complete our Department will contact you and arrange for payment of the fees.

*Rob Nesbitt , MCIP RPP
 Senior Planner
 Planning & Development Services Dept.
 County of Lambton
 (519) 845-0801 ext. 5319*

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For more information, please contact:

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519. 686. 1300 | jmcguffin@mbpc.ca



Monteith Brown Planning Consultants
219 Oxford St. W, Unit 302, London, Ontario, N6H 1S5
519.686.1300 | www.mbpc.ca



**CORPORATION OF THE
MUNICIPALITY OF BROOKE-ALVINSTON**

ZONING BY-LAW NO. [REDACTED] OF 2025

(Being a By-law to amend By-law 9 of 2013)

WHEREAS the Council of the Corporation of the Municipality of Brooke-Alvinston passed a comprehensive Zoning By-law 9 of 2013 on the 28th day of February 2013; and

WHEREAS the Council deems it desirable to make certain amendments to its comprehensive Zoning By-law;

NOW THEREFORE, the Council of the Corporation of the Municipality of Brooke-Alvinston enacts as follows:

1. Schedule "A", attached, is hereby declared to form part of this By-law.
2. Schedule "A" to By-law 9 of 2013 is hereby amended by changing the zone symbol that applies to those lands indicated on Schedule "A" to this By-law from the "Residential-1 -h (R1-h)" Zone" to the "Residential 1 (R1)", the Residential 1 – Site Specific (R1-12*), the "Residential (R3)", the R 3 – Site Specific (R3-5*)", and the Open Space 1 (OS1)" zones.
3. Section 7.3 of By-law 9 of 2013 is hereby amended by adding the following subsection:

7.3.12 RESIDENTIAL R1(12) ZONE

Notwithstanding the provisions of the R1 Zone, Single Detached Dwellings on lands zoned R-12 shall be subject to a minimum required Lot Frontage of 13 m, a minimum required Lot Area of 405 m², and a maximum Lot Coverage of 45%. In all other respects, the provisions applicable in the R1 Zone shall apply.

4. Section 8.3 of By-law 9 of 2013 is hereby amended by adding the following subsection:

8.3.5 RESIDENTIAL R3(5) ZONE

Notwithstanding the provisions of the R3 Zone, Townhouses on lands zoned R3-5 shall be subject to a minimum Lot Area requirement of 200 m² per Dwelling Unit, a maximum Lot Coverage of 55%, and minimum Interior Side Yard

Setbacks of 1.2 metres. In all other respects, the provisions applicable in the R3 Zone shall apply.

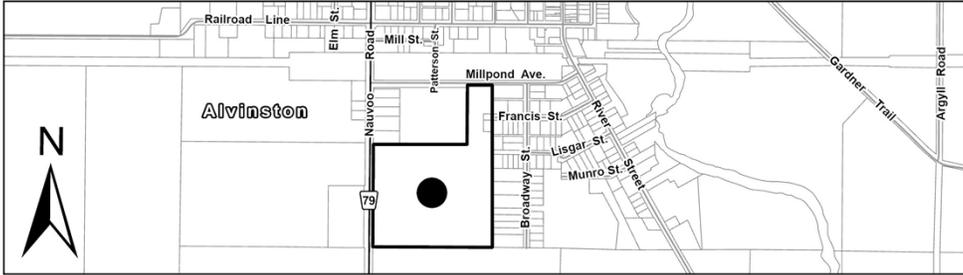
- 5. This By-law shall come into force and effect pursuant to Sections 34 (21) or Section 34 (30) of the Planning R.S.O. 1990.

Read a first, second and third time and finally passed this 19th day of June, 2025

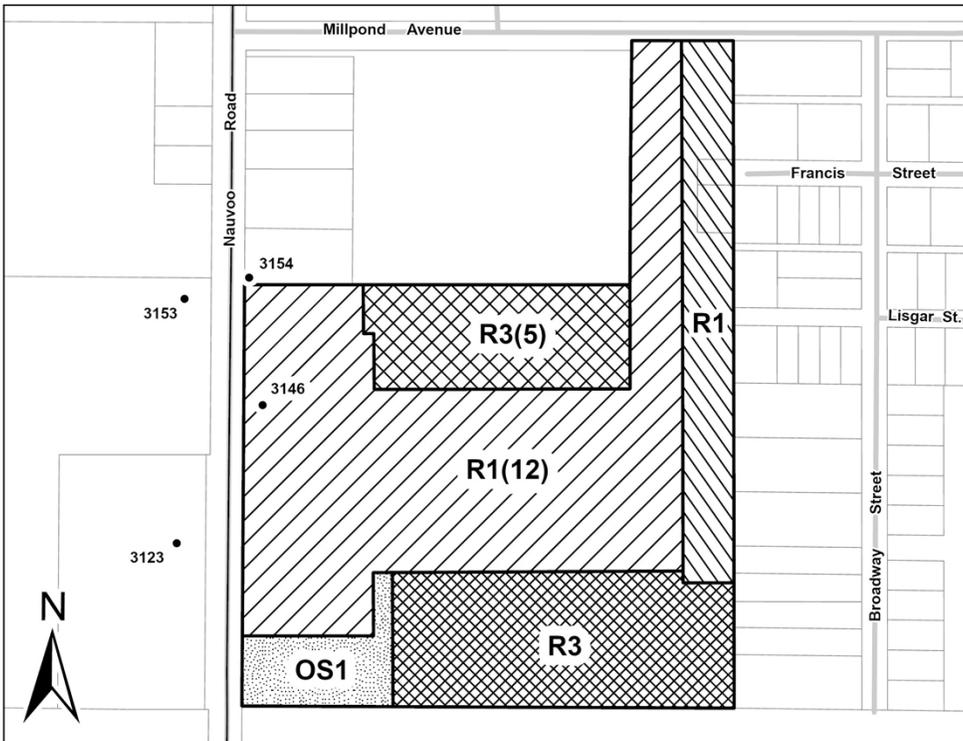
David Ferguson, Mayor

Janet Denkers, Clerk Administrator

Municipality of Brooke-Alvinston
SCHEDULE "A"
 to By-law No. _____
 Dated this _____ Day of _____, 2025
 Signed: _____
 David Ferguson, Mayor Janet Denkers, Clerk-Administrator



● Subject Properties



APPLICANT: C&L Schouten Farms Inc.
 LOCATION: CON 5 W PT LOT 19 and CON 5 PT LOT 19 RP 25R8993 PART 3
 3146 Nauvoo Road, Municipality of Brooke-Alvinston
 File:

**CORPORATION OF THE
MUNICIPALITY OF BROOKE-ALVINSTON**

ZONING BY-LAW NO. [REDACTED] OF 2025

Explanatory Note

The purpose of this By-law is to rezone the municipally described property known as 3146 Nauvoo Road.

The rezoning would amend the Zoning Bylaw to allow for the future residential development. The re-zoning from the present "Residential 1 (h) (R1-h)" zone into several separate zones include: the "Residential 1 (R1)" zone, "Residential 1 – Site Specific (R1-12)" zone which permits single detached dwellings lots minimum lot frontages of 13 m, minimum lot areas of 405 m², and maximum lot coverages of 45%; the "Residential (R3)" zone which allows for multiple dwelling units to be developed for townhouse units; the "Residential 3 – Site Specific (R3-5)" zone which would permit townhouse units with a permitted density of one unit per 200 m² of lot area, a maximum lot coverage of 55%, and minimum interior side yard setbacks of 1.2 metres; and an "Open Space 1 (OS1)" zone which would apply to proposed stormwater management and servicing blocks of the proposed Plan of Subdivision.

The Key Map shows more particularly the lands affected.



Development Services Department
789 Broadway Street, Box 3000
Wyoming, ON N0N 1T0

Telephone: 519-845-0801
Toll-free: 1-866-324-6912
Fax: 519-845-3817

**NOTICE OF A DRAFT PLAN OF SUBDIVISION UNDER SECTION 51 *PLANNING ACT*
AND
NOTICE OF PUBLIC MEETING UNDER SECTION 10.9.1 OF THE COUNTY OF LAMBTON
OFFICIAL PLAN**

APPLICATION NO. 38T-25002

Owner: Calvin Schouten
Location: CON 5 W PT LOT 19, municipally known as 3146 Nauvoo Road
Municipality of Brooke-Alvinston

TAKE NOTICE that an application for Draft Plan of Subdivision has been made for a property located at the above-noted location. The proposal, submitted by the applicant and as shown in the attached Draft Plan of Subdivision, is to create one hundred nine (109) low density residential lots, twelve (12) townhouse blocks containing 56 units and one (1) medium block containing approximately 79 cluster townhouse units as well as four (4) blocks for servicing and stormwater infrastructure at CON 5 W PT LOT 19, 3146 Nauvoo Road, Brooke-Alvinston.

In accordance with subsection 51(19.1) of the *Planning Act*, R.S.O. 1990, c. P.13, as amended, the County of Lambton being the approval authority for draft plans of subdivision has deemed the application to be complete for the purposes of subsections 51(17) and 51(18) of the *Planning Act*.

AND FURTHER TAKE NOTICE that the County of Lambton has appointed **Thursday June 19, 2025 at 4:30 p.m.** for the purpose of a public meeting in Council Chambers of the Municipality of Brooke-Alvinston located at 3236 River Street, Alvinston, ON.

ANY PERSON may make written or verbal submissions either in support of or in opposition to the proposed plan of Subdivision. Written submissions are to be made to the Planning & Development Services Department at the address noted above or by email to planning@county-lambton.on.ca by **Friday, June 5, 2025**. If you wish to speak at the meeting, please email Janet Denkers at jdengk@brookealvinston.com or contact at 519-898-2173 for instructions by **12:00 p.m. (noon) on Wednesday June 18, 2025**.

Please note that all written material submitted, and verbal comments presented at public meetings will form part of the public record and will be available for full disclosure.

If you wish to be notified of the decision of the County of Lambton in respect of the proposed Plan of Subdivision, you must make a written request to the Planning & Development Services Department at the address noted below.

THE APPLICANT, A PUBLIC BODY OR A "SPECIFIED PERSON" who has made submissions as outlined below may appeal the decision to the Ontario Land Tribunal not later than 20 days after the notice of the decision is given.

If a person or public body does not make oral submissions at the public meeting or make written submissions to the County of Lambton in respect of the proposed plan of subdivision before the approval authority gives or refuses to give approval to the draft plan of subdivision, the persons or public bodies are not entitled to appeal the decision of the County of Lambton to the Ontario Land Tribunal.

If a person or public body does not make oral submissions at the public meeting or make written submissions to the County of Lambton in respect of the proposed plan of subdivision before the approval authority gives or refuses to give approval to the draft plan of subdivision, the persons or public bodies may not be added as parties to the hearing of an appeal before the Ontario Land Tribunal unless, in the opinion of the Tribunal, there are reasonable grounds to do so.

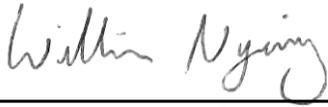
AN APPLICATION for a Zoning By-law Amendment for this property has also been submitted to the Municipality of Brooke-Alvinston for consideration.

ADDITIONAL INFORMATION about the application is available, during business hours, at the County of Lambton Planning and Development Services Department, 789 Broadway Street,

Wyoming, by appointment only. Please contact the office at 519-845-0801 or by e-mail at planning@county-lambton.on.ca to schedule an appointment.

For more information about this matter, including information about preserving your appeal rights, please contact the County of Lambton Development Services Department at 519-845-0801 ex. 5257. If you are aware of any persons affected by this application, who have not received a copy of this notice, it would be appreciated if you would advise them.

Yours truly,



Will Nywening, Senior Planning Official
Development Services Department



Planning & Development Services Department
789 Broadway Street, Box 3000
Wyoming, ON N0N 1T0

Telephone: 519-845-0801
Toll-free: 1-866-324-6912
Fax: 519-845-3817

SUBDIVISION / CONDOMINIUM APPLICATION FORM

FOR OFFICE USE ONLY	
File Number:	
File Name:	
Date Application Received:	Application Fee:
Date Application Complete:	Date Fee Received:

All sections in this form marked with an asterisk must be completed before the application will be accepted. Failure to complete the entire application however may result in delays in processing and in obtaining a decision.

TYPE OF APPLICATION: Subdivision () Condominium () Condominium Conversion

APPLICANT INFORMATION

All communications will be directed to the Prime Contact only. Please indicate who this will be.

*Prime Contact: Monteith Brown Planning Consultants (c/o Jay McGuffin)

Address: 302-219 Oxford Street West, London ON, N6H 1S5

E-mail Address: jmcguffin@mbpc.ca

Telephone Number: (519) 518-6430 Fax Number: _____

*Registered Owner(s): Calvin Schouten

Address: 8547 Lasalle Line, Watford ON, N0M 2S0

E-mail Address: calvin@schouten.ca

Telephone Number: [REDACTED] Fax Number: _____

Are the subsurface rights owned by the same owner? Yes (X) No ()

If NO, indicate who owns the subsurface rights: _____

*Applicant (Agent): Same as Prime Contact

Address: _____

E-mail Address: _____

Telephone Number: _____ Fax Number: _____

Solicitor(s): _____

Address: _____

E-mail Address: _____

Telephone Number: _____ Fax Number: _____

Planning Consultant(s): Same as Prime Contact

Address: _____

E-mail Address: _____

Telephone Number: _____ Fax Number: _____

Surveyor(s): Total Tech Surveying

Address: 341 Talbot St. North, Units 2 & 3, Essex ON, N8M 2W3

E-mail Address: _____

Telephone Number: (519) 776-9887 Fax Number: _____

Engineer(s): Development Engineering Limited

Address: _____

E-mail Address: sduncan@deveng.net

Telephone Number: (519) 672-8310 Fax Number: _____

*** Description of the Subject Land:**

Municipality: Municipality of Brooke-Alvinston

Lot(s) Part Lot 19 Concession(s) 5 (Geographic Twn. of Brooke)

Lot(s)/ Block(s) _____ Reg. Plan No. _____

Part(s) _____ Ref. Plan No. _____

Street No. and Name 3146 Nauvoo Road

Are there any easements or restrictive covenants affecting the subject lands? Yes () No (X)

If yes, please attach a copy of any deeds or documents and describe the nature and effect of the easement below:

***PROPOSED LAND USES**

Number of Residential Units	Number of Lots or Blocks (as shown on the Plan)	Area in Hectares	Density (Specify Units per Hectare)	Number of Parking Spaces
-----------------------------	---	------------------	-------------------------------------	--------------------------

RESIDENTIAL

Detached Dwellings	109	109	6.78	16	
Semi-detached dwellings					
Row/Townhouses (Multiple Attached)	135	13	3.96	34	
Residential Apartments -less than two bedrooms -2 bedrooms or more					
Seasonal Residential					
Mobile Home					
Other Residential (Specify					

NON-RESIDENTIAL

Neighbourhood Commercial					
Other Commercial					
Industrial					
Local and Community Park					
Open Space and Hazard Lands					
Institutional (Specify)					
Road Allowances					
Other (Specify)					
TOTAL					

Describe use if Other Residential, Institutional or Other Non-Residential:

***ADDITIONAL INFORMATION REQUIRED FOR CONDOMINIUM APPLICATIONS**

NEW BUILDINGS

* Has the local municipality approved a site plan? YES () NO ()

* Has a site plan agreement been entered into? YES () NO ()

* Has a building permit been issued? YES () NO ()

* Is the proposed development under construction? YES () NO ()

* If construction has been completed, please indicate date of completion _____

EXISTING BUILDINGS

* Is this a proposal to convert an existing building containing residential rental units? YES () NO ()

* If yes, indicate date of construction _____ and number of units to be converted _____

Does this proposal comply with the Tenant Protection Act? YES () NO ()

***INFORMATION SPECIFIC TO EACH TYPE OF CONDOMINIUM APPLICATION** (Check only one)

Standard (Not Phased) – The traditional condominium type.

Standard (Phased) – A single standard condominium built in phases. **Provide** summary of the number of units and common elements to be developed in each specific phase. Also provide a plan showing the units and common elements in each phase.

Amalgamation – Where two (2) or more existing standard condominium corporations amalgamate. **Provide** a plan showing the relationship of the previous condominiums to be amalgamated. Also provide file numbers, approval dates, etc.

Common Elements – Where common elements are defined by the land is not divided into units. **Provide** a summary of the property ownerships and a plan showing the affected freehold properties outside the specific condominium site. Also provide a plan and a description of the common elements.

Leasehold – The initial term of the lease must be from 40 years to 99 years and a leasehold unit owner can sell a unit without the consent of the landowner. **Provide** information regarding the date the leases expire and the intent of what happens at the end of the lease period.

Vacant Land – Each owner may decide what type of structure, if any, will be built on the lot. **Provide** information on proposed servicing and status of required permits etc. Also provide a plan which includes the proposed building envelope.

SERVICING INFORMATION

***WATER SUPPLY AND SEWAGE**

	Yes	No	Indicate Studies or Reports	Attached
Municipal Sanitary Sewers?	X		Servicing Report	Yes
Municipal piped water?	X			
Wells and/or septic for a residential subdivision with five or fewer lots / units?			A Servicing Report A Hydrogeological Report	
Wells and/or septic for a residential subdivision with six or more lots / units?			A Servicing Report A Hydrogeological Report	
Septics for a residential subdivision with fewer than five lots or units on privately owned and operated individual or communal septic systems, and more than 4500 litres of effluent per day			A Servicing Report A Hydrogeological Report	
Septics for a residential subdivision with fewer than five lots or units on privately owned and operated individual or communal septic systems, and 4500 litres of effluent or less			A Servicing Report A Hydrogeological Report	
Communal wells and/or communal sanitary sewage system for a residential subdivision?				

***STORM DRAINAGE**

Storm sewers	X		Servicing Report	Yes
Ditches or swales	X		Servicing Report	Yes
Other (Specify)				

***ROADS AND ACCESS**

Yes No

Provincial () County (X) Local (X)	X			
Private Road			Not Usually Permitted	
Right-of-Way				
Water i) Parking and Docking facilities to be used ii) Approximate Distance of these facilities from the subject land and the nearest public road				

THE ENVIRONMENTAL PROTECTION ACT

Are the water, sewage and road works associated with the proposed development subject to the provisions of the Environmental Protection Act? YES () NO ()

If YES, should the notice of public meeting for this application state that the public meeting will address the requirements of both the Planning Act and the Environmental Protection Act? YES () NO ()

HOUSING INFORMATION

Housing Type	Number of Units	Lot or Unit Size	Number of Bedrooms	Tenure (a)	Specialised Housing (b)
Detached Dwellings	109				
Semi-Detached Dwellings					
Multiple Attached	135				
Apartment Block(s)					
Other Types (Specify)					

Notes:
 (a) Tenure refers to the type of ownership (freehold / condominium / co-operation), market rental assisted rental, non-profit or other;
 (b) Specialised Housing refers to housing for groups such as senior citizens or the disabled.

LAND USES ON THE SITE AND SURROUNDING AREA

Provide the location and area of land adjoining or adjacent to lands to be subdivided in which the owner has an interest:

What is the current use of the subject lands? Agriculture, Vacant

What were the previous uses of the subject lands if known? Agriculture

Has there been a past industrial or commercial or an orchard use of the site or adjacent land?
 YES () NO (X) Unknown ()

If YES, indicate the last year of use _____ Indicate type of use: _____

Has fill been placed on the site? YES () NO (X) Unknown ()

Is there reason to believe that the site may have been contaminated by any former uses either on or adjacent to the site? (Such uses might have included gas stations, landfill sites or storage of hazardous materials.) YES () NO (X) Unknown ()

If YES, an environmental investigation of the site, all former uses of the site and if appropriate, the adjacent site must be undertaken to the satisfaction of the County.

If NO, what is the basis of this determination? Phase I ESA submitted with application

STATUS OF OTHER APPLICATIONS UNDER THE PLANNING ACT

*Has the land ever been the subject of a previous application for approval of a plan of subdivision or consent? YES () NO () Unknown (X)

*If YES, please indicate the file number of the previous application and its status: _____

*What is the land use designation of the site in the local Official Plan? Residential

Does the proposal conform with the existing: County Official Plan? YES (X) NO ()

Local Official Plan? YES (X) NO ()

*If the proposal does not conform to the municipality's Official Plan, has an application for an amendment been made?
 YES () NO ()

*If YES, indicate the application file number and its status: _____

If NO, the application for subdivision / condominium approval may be premature.

What is the current zoning on the subject lands? Residential 1 - Holding (R1-h)

Does the proposal conform to the uses permitted under the local municipal Zoning By-law?
 YES () NO (X)

*If the proposal does not conform to the local Zoning By-law, has an application for an amendment been made?
 YES (X) NO ()

*If YES, indicate the application file number and its status: Submitted concurrently

*Is the land the subject any other applications for consent, minor variance or site plan control?
 YES () NO (X)

*If YES, indicate the application file number and its status: _____

*Is the subject land within an area of land designated under any provincial plan? YES () NO (X)
 *If YES, does the plan conform or not conform with the applicable provincial plan. YES () NO ()

PROVINCIAL POLICY STATEMENT (PPS)

An outline of the PPS is provided in the table below. Decision making authorities "shall be consistent with" the PPS in making decisions on all applications. Please indicate below which, if any, features or development circumstances apply (**Please be specific**). Where applicable, information addressing PPS conformity must be provided below. Please indicate the report/study title as well as page numbers for each issue.

General PPS Policy Section	Determine any potential PPS issues & indicate which PPS sub-section applies & feature or circumstance involved.	Where has the issue been addressed? Report / Study Title	Page
Building Strong Communities	Please see Planning Justification Report		
Employment Areas			
Housing			
Public Spaces, Parks & Open Space			
Infrastructure			
Agriculture Policies			
Mineral Resources			
Long-Term Economic Prosperity			
Energy & Air Quality			
Natural Heritage			
Water Quality & Quantity			
Natural Hazards			
Human-made Hazards			
Does the subject land contain any areas of archaeological potential?	YES () NO (X)		
If the plan permits development on land that contains known archaeological resources or areas of archaeological potential the following is needed: a) an archaeological assessment prepared by a person who holds a licence that is effective with respect to the subject land, issued under Part VI (Conservation of Resources of Archaeological Value) of the <i>Ontario Heritage Act</i> ; and b) a conservation plan for any archaeological resources identified in the assessment.			

***OWNER(S) DELEGATION OF AN AGENT** PLEASE SEE ATTACHED AUTHORIZATION

The registered owner(s) or if a corporation, person(s) with signing authority, must complete the following:

I, We _____, being the
(name(s) of owner(s), individual or company)
registered owner(s) of the subject lands authorise _____
(name of agent)

to prepare this application on my (our) behalf.

Signature of Owner Date

Signature of Owner Date

NOTE: If the owner is an incorporated company, the company seal must be applied. If there is no company seal, a statement of authority to bind is required.

***DECLARATION**

This must be signed in the presence of a Commissioner.

I / We Jay McGuffin of the City of London

County / Region of Middlesex, solemnly declare that all the information contained in this application is true and I / We make this solemn declaration conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and by virtue of the Canada Evidence Act.

DECLARED before me at the City of London in the County / Region
of Middlesex this 1st day of August, 2024.

Signature of Owner(s) or Authorized Agent

Signature of Owner(s)


Signature of Commissioner

Kristin Dawn Lefave
a Commissioner, etc., Province of Ontario
for **Monteith Brown Planning Consultants Ltd.**
Expires June 8, 2026

***APPLICANT'S CONSENT FOR RELEASE OF INFORMATION**

In accordance with provisions of the *Planning Act*, it is required that the application and all supporting documentation be available for public viewing.

Therefore, in accordance with the above, I / We Jay McGuffin the applicant(s), hereby acknowledge that the information contained in this application and any supporting documentation provided by myself, my agents, consultants and solicitors will be part of the public record and will be available to the general public in accordance with the provisions of the Municipal Freedom of Information and Protection of Privacy Act.

Signature of Applicant

August 1, 2024
Date

Signature of Applicant

Date

THIS APPLICATION PACKAGE IS TO BE SENT TO:

Planning and Development Services Department
County of Lambton
789 Broadway Street, Box 3000
Wyoming, Ontario N0N 1T0

APPLICANT'S CHECKLIST

Have you read THE COUNTY OF LAMBTON SUBDIVISION AND CONDOMINIUM APPROVALS PROCEDURES - AN APPLICANT'S GUIDE before completing this application form?

Have you discussed your proposal with the local municipality? Yes

Have you have attached the following:

- 1 copy of the completed application form with all prescribed information provided.
- 1 copy of any information or reports as required in the application.
- 1 signed copy of the draft plan - large size.
- 1 signed photo-reduced copy of the draft plan - 8 ½" x 14" or 11" x 17".
- A USB containing the draft plan geo-referenced to UTM NAD83. It can be either a geo-referenced Autocad .dwg/.dxf file or geo-referenced ESRI .shp file.
- The required application fee (\$3000 for 0-20 Lots, \$4000 for 21-50 Lots and \$6000 for 50 plus Lots).

A File Number will be issued for complete applications and should be referred to in all future communications with the County.

PROPOSAL FOR PROFESSIONAL PLANNING SERVICES

Proposed Residential Subdivision

Alvinston, Ontario

AUTHORIZATION OF AGENT

I/We, Calvin Schouten, are the owner(s) of the lands known municipally as 3146 Nauvoo Road in the Municipality of Brooke-Alvinston, Ontario. I/We authorize **MONTEITH BROWN PLANNING CONSULTANTS** to act on our behalf as our agent for the submissions required for all required municipal planning approvals, including but not limited to Official Plan Amendments, Zoning By-Law Amendments, Draft Plans of Condominium, Draft Plans of Subdivision, Site Plan Approval, Minor Variance and Consent and to provide any of our personal information that will be collected during the planning process in connection with these planning approvals.

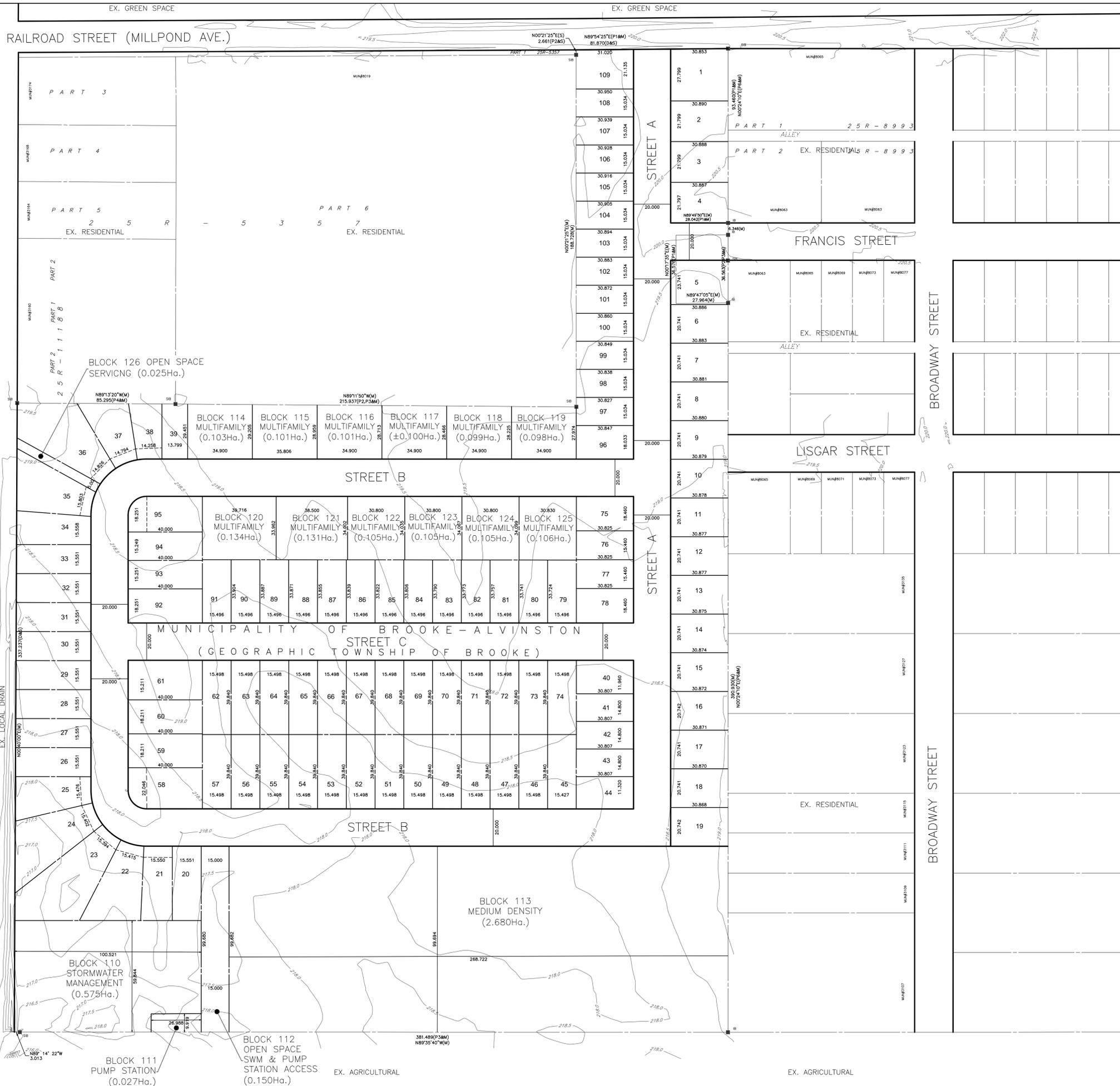


Signature of Representative(s)

(I have the Authority to Bind the Corporation)

June 20, 2022

Date



KEY PLAN NTS

DRAFT PLAN OF SUBDIVISION

PLAN OF SURVEY OF PART OF LOT 19, CONCESSION 5 (GEOGRAPHIC TOWNSHIP OF BROOKE) IN THE MUNICIPALITY OF BROOKE-ALVINSTON COUNTY OF LAMPTON

OWNER'S AUTHORIZATION

WE HEREBY SUBMIT THIS DRAFT PLAN OF SUBDIVISION WE HAVE THE AUTHORITY TO BIND THE CORPORATION. Calvin Schouten July 26, 2024

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT THE BOUNDARIES OF THE LAND TO BE SUBDIVIDED, AS SHOWN ON THIS PLAN, AND THEIR RELATIONSHIP TO THE ADJACENT LANDS ARE ACCURATELY AND CORRECTLY SHOWN. Bloss J. Sutherland, O.L.S. July 26, 2024

REQUIREMENTS UNDER SECTION 51(17) OF THE PLANNING ACT

- A: AS SHOWN ON PLAN B: AS SHOWN ON PLAN C: AS SHOWN ON KEY PLAN D: SINGLE & MEDIUM (MF) DENSITY RESIDENTIAL E: AS SHOWN ON PLAN F: AS SHOWN ON PLAN G: AS SHOWN ON PLAN H: MUNICIPAL WATER I: SAND, SILT AND CLAYEY SILT J: AS SHOWN ON PLAN K: FULL SERVICES L: AS SHOWN ON PLAN

LAND USE SCHEDULE

Table with 3 columns: LAND USE, AREA IN HECTARES, and %. Rows include Low Density Residential, Stormwater Management, Pump Station, Open Space, Medium Density Block, Multi-Family, Open Space, and Internal Municipal Road Allowance.

CONSULTANT: London Office, development engineering (London) Limited, CONSULTING CIVIL ENGINEERS. Paris Office, 31 Mechanic St., Unit 301.

Table with 5 columns: DETAILS, No, REVISIONS, DATE, BY. Row 1: DESIGN BY: BAE, 1, ISSUED FOR DRAFT PLAN SUBMISSION, JULY 16, 2024, SD.

PROJECT TITLE: SCHOUTEN SUBDIVISION ALVINSTON, ONTARIO SCHOUTEN DEVELOPMENTS INC.

SCALE: 1:1000. PROJECT No.: DEL22-010. SHEET No.: DP. PLAN FILE No.:

Annette Major

From: Barbara Fan <bfan@bluewaterpower.com>
Sent: Friday, May 16, 2025 12:54 PM
To: Annette Major
Subject: FW: Agency Circulation and Notice of Application of Zoning By-law Amendment & Draft Plan of Subdivision -38T-25002 Brooke-Alvinston
Attachments: 38T-25002 - Schouten - Agency Circulation.pdf; 2. 3486 Nauvoo Road - Schouten - Draft Plan of Subdivision Application.pdf; 3. 3486 Nauvoo Road - Schouten - Draft Plan.pdf; 3146 Nauvoo Road - Revised Draft Plan Concept - Fire Access SWMBlock.pdf; 3146 Nauvoo Road - ZBLA - Public Meeting Notice.pdf

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

Hi Annette,

Thank you so much for the Notice. Greatly appreciated!

It appears the two addresses are for the same proposed subdivision.

The area is currently a farm field – BWP does have assets around the field but does not appear to have anything in the filed/future subdivision.

Please see screenshot below, subject area is bordered with red.

Please be advised no structures/house can be installed/built under or nearby the high voltage overhead lines, per Electrical Safety Authorities and Canadian Electrical Code.



Thanks & Best Regards,

Barbara Fan, P. Eng.

Vice President of Engineering

Electek Power Services

& Bluewater Power

870 Confederation St.



Lambton Public Health
 160 Exmouth Street
 Point Edward, ON N7T 7Z6

Telephone: 519-383-8331
 Toll free: 1-800-667-1839
 Fax: 519-383-7092
www.lambtonpublichealth.ca

June 6, 2025

Ezio Nadalin
 The County of Lambton
 Planning & Development Services
 789 Broadway Street
 Wyoming, ON N0N 1T0

Re: Draft Plan of Subdivision, 3146 Nauvoo Road

Dear Mr. Nadalin,

Lambton Public Health invites communities and developers to consider the relationships between health and the spaces we create for ourselves. We support new developments that foster good health, and with this lens, we would like to submit the following considerations for the proposed development in the municipality of Brooke-Alvinston.

According to data from Public Health Ontario, approximately 46% of adults in Lambton County are not getting the recommended levels of daily physical activityⁱ. This inactivity is a key contributor to incidence of chronic diseaseⁱⁱ. Designing our neighbourhoods to encourage active transportation is an effective way to promote physical activity and the mental and physical benefits gained from it. Beyond the individual health benefits, increasing opportunities for active transportation has the potential to reduce healthcare costs, noise pollution and to improve air quality.

To promote the use of active transportation, a sidewalk or multi-use pathway is recommended to connect the new subdivision with nearby River Street or Railroad Line, which are already equipped with sidewalks. This would connect residents with safe and accessible walking/cycling access to nearby community features such as medical/pharmacy services, recreation facilities, library, etc. With the only access to the subdivision being off Millpond Ave, the anticipated increase in traffic volume in this area reinforces the need for added infrastructure to improve walkability, supporting a more livable community for new and existing residents.

We appreciate that this plan includes the use of multi-family and medium-density housing. If possible, a greater proportion of higher-density housing should be considered to replace some of the single detached dwellings. While existing in a rural

community, the size and location of this subdivision lends itself to the potential for a more compact community, increasing opportunities for affordability, walkability, inclusion, and social connectedness.

Provided the above points are considered, we are supportive of this application.

Thank you for the opportunity to provide comments at this stage.

Sincerely,



Laura Stewart
Health Promoter, Lambton Public Health
Healthy.environments@county-lambton.on.ca

ⁱ Public Health Ontario. "Physical Activity Snapshot: Self-reported adult physical activity at or above recommended level from the Canadian Physical Activity Guidelines (by PHU, 2021). <[Physical Activity Snapshot | Public Health Ontario](#)>. Accessed 25 April 2025.

ⁱⁱ Booth FW, Roberts CK, Laye MJ. "Lack of exercise is a major cause of chronic diseases". *Comprehensive Physiology*. 2012 Apr;2(2):1143-211. doi: 10.1002/cphy.c110025. PMID: 23798298; PMCID: PMC4241367.



CANADA POST
 2701 RIVERSIDE DRIVE SUITE N0820
 OTTAWA ON K1A 0B1
 CANADAPOST.CA

POSTES CANADA
 2701 PROM RIVERSIDE BUREAU N0820
 OTTAWA ON K1A 0B1
 POSTESCANADA.CA

May 30 ,2025

Annette Major
 9-1-1 Addressing Technician
 Development Services
 County of Lambton
 789 Broadway Street, Box 3000
 Wyoming, ON N0N 1T0
 519 845-0809 ext. 5257

Notice of Application of a Draft Plan Subdivision – 3146 Nauvoo Road 38T-25002 Brooke -Alvinston - request for comments

Canada Post has reviewed the proposal for the above noted Development and has determined that the completed project will be serviced by centralized mail delivery provided through Canada Post Community Mailboxes. Our centralized delivery policy will apply for any buildings of 3 or more self-contained units with a common indoor area. For these units the owner/developer will be required to install a mail panel and provide access to Canada Post.

In order to provide mail service to this development, Canada Post requests that the owner/developer comply with the following conditions:

- ⇒ The owner/developer will consult with Canada Post to determine suitable permanent locations for the placement of Community Mailboxes and to indicate these locations on appropriate servicing plans.
- ⇒ The Builder/Owner/Developer will confirm to Canada Post that the final secured permanent locations for the Community Mailboxes will not be in conflict with any other utility; including hydro transformers, bell pedestals, cable pedestals, flush to grade communication vaults, landscaping enhancements (tree planting) and bus pads.
- ⇒ The owner/developer will install concrete pads at each of the Community Mailbox locations as well as any required walkways across the boulevard and any required curb depressions for wheelchair access as per Canada Post's concrete pad specification drawings.
- ⇒ The owner/developer will agree to prepare and maintain an area of compacted gravel to Canada Post's specifications to serve as a temporary Community Mailbox location. This location will be in a safe area away from construction activity in order that Community Mailboxes may be installed to service addresses that have occupied prior to the pouring of the permanent mailbox

pads. This area will be required to be prepared a minimum of 30 days prior to the date of first occupancy.

- ⇒ The owner/developer will communicate to Canada Post the excavation date for the first foundation (or first phase) as well as the expected date of first occupancy.
- ⇒ The owner/developer agrees, prior to offering any of the residential units for sale, to place a "Display Map" on the wall of the sales office in a place readily available to the public which indicates the location of all Canada Post Community Mailbox site locations, as approved by Canada Post, and County of Lambton.
- ⇒ The owner/developer agrees to include in all offers of purchase and sale a statement, which advises the prospective new home purchaser that mail delivery will be from a designated Community Mailbox, and to include the exact locations (list of lot #s) of each of these Community Mailbox locations; and further, advise any affected homeowners of any established easements granted to Canada Post.
- ⇒ The owner/developer will be responsible for officially notifying the purchasers of the exact Community Mailbox locations prior to the closing of any home sales with specific clauses in the Purchase offer, on which the homeowners do a sign off.

Canada Post further requests the owner/developer be notified of the following:

- 1 The owner/developer of any condominiums will be required to provide signature for a License to Occupy Land agreement and provide winter snow clearance at the Community Mailbox locations.
- 2 Enhanced Community Mailbox Sites with roof structures will require additional documentation as per Canada Post Policy
- 3 There will be no more than one mail delivery point to each unique address assigned by the Municipality.
- 4 Any existing postal coding may not apply, the owner/developer should contact Canada Post to verify postal codes for the project.
- 5 **The complete guide to Canada Post's Delivery Standards can be found at:**
https://www.canadapost.ca/cpo/mc/assets/pdf/business/standardsmanual_en.pdf

Regards,

Lori Zelenko
 Delivery Services Officer | Delivery Planning
 Huron/Rideau Region
 955 Highbury Ave N
 London ON N5Y 1A3
 (226)235-5813
 lorinda.zelenko@canadapost.postescanada.ca

Annette Major

From: Jamie Botting
Sent: Wednesday, June 4, 2025 4:48 PM
To: Annette Major
Cc: William Nywening; Ezio Nadalin; Matt Deline
Subject: COL Public Works Comment - RE: Agency Circ and Notice of Applic of ZBLA & Draft Plan of Subdivision -38T-25002 Brooke-Alvinston
Attachments: City Fence Detail B2-Rev 1 Dec 2017 Update.pdf; City Fence Detail B1- Rev 1 Dec 2017 Update.pdf; City Fence Detail B3-Rev 1 Dec 2017 Update.pdf; Re: Access at Nauvoo - (B-A) RE: Plan of Subdivision - Access Requirements

Good afternoon, Annette,

County Public Works was previously provided the Notice of Decision regarding the Application for Subdivision Approval, and confirmed that the Draft Approved Conditions therein, being 3a), 9f), 10e), 18 and 19, regarding our interests for Nauvoo Road (County Road 79), are in keeping with our long-term needs. (See attached) These items are generally identified as follows:

- Providing for a 0.3m reserve along County Road 79 (Nauvoo Road) at rear yard of residential lots,
- Entering into a Subdivision Agreement (providing for comprehensive design of servicing, emergency access, etc.),
- Prohibiting construction access onto County Road 79 (Nauvoo Road),
- Providing for a comprehensive package addressing all items to County and Township satisfaction and prior to final approval,
- County Public Works confirming the receipt of 0.3m reserve as required by the applicant prior to final approval.

Further comments on the proposal materials, as provided, are as follows:

Traffic Impact Study

The provided study by RC Spencer and Associates, dated April 2024, identifies full build-out conditions for a 2028 horizon year. Provided this remains the proponent's anticipated horizon, County Public Works has no issue with the study as provided. *(The only access via County Road 79 (Nauvoo Road) is for an emergency vehicles driveway via the stormwater management facility of Block 110. Development traffic shall utilize the existing Millpond Ave (aka Railroad Street) at Nauvoo Road t-intersection with no improvements being recommended.)*

Utility Servicing

Restoration information and construction requirements for operations within the County Road Allowance shall be detailed and provided in due course for inclusion into construction drawings and specifications for the following:

- Water Servicing – Connection is proposed, crossing County Road 79 (Nauvoo Road), and through Block 126 Open Space corridor.
- Stormwater Servicing – Stormwater collection/management is proposed via the southwest corner of the development with ultimate outlet into the County roadside ditch and southbound toward the Pray Drain. (I.e., Municipal Drain) Further adjustment/design for legal stormwater outlet is required.
- Sanitary Servicing – No Nauvoo Road implications are identified.
- Illumination/Hydro – Illumination requirements for the emergency access road, both at its intersection with County Road 79 (Nauvoo Road) and along Blocks 110 and 112 are to be determined and further identified.

Rear-yard Fencing – County Road 79 (Nauvoo Road)

Public Works does not have any materials regarding privacy fencing installation/details. Should fencing be provided, it shall be installed fully on the development side of property line. For information purpose only, I have provided the City of Sarnia fence details.

General

Markup for new Block providing 0.3m reserve is provided on Draft Plan of Subdivision, Concept #1 – Fire Access Through Stormwater Block as requested on agency correspondence of May 15, 2025.

If there is anything further that you require at this time, please let me know.

Regards
Jamie

Jamie Botting, A.Sc.T. (she/her)
Development & Transportation Coordinator
County of Lambton

Tel: 519.845.0809 ext. 5299
Fax: 519.845.3872
Jamie.Botting@county-lambton.on.ca

From: Annette Major <Annette.Major@county-lambton.on.ca>
Sent: Thursday, May 15, 2025 3:07 PM
To: firechief@brocktonkingston.com

----- Forwarded from Annette Major -----

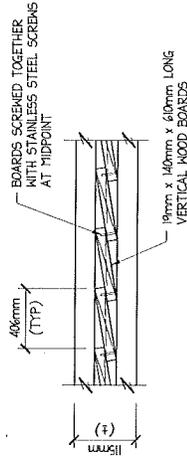
From: Annette Major <Annette.Major@county-lambton.on.ca>
Sent: Thursday, May 15, 2025 3:07 PM
To: firechief@brocktonkingston.com

----- Forwarded from Annette Major -----

From: Annette Major <Annette.Major@county-lambton.on.ca>
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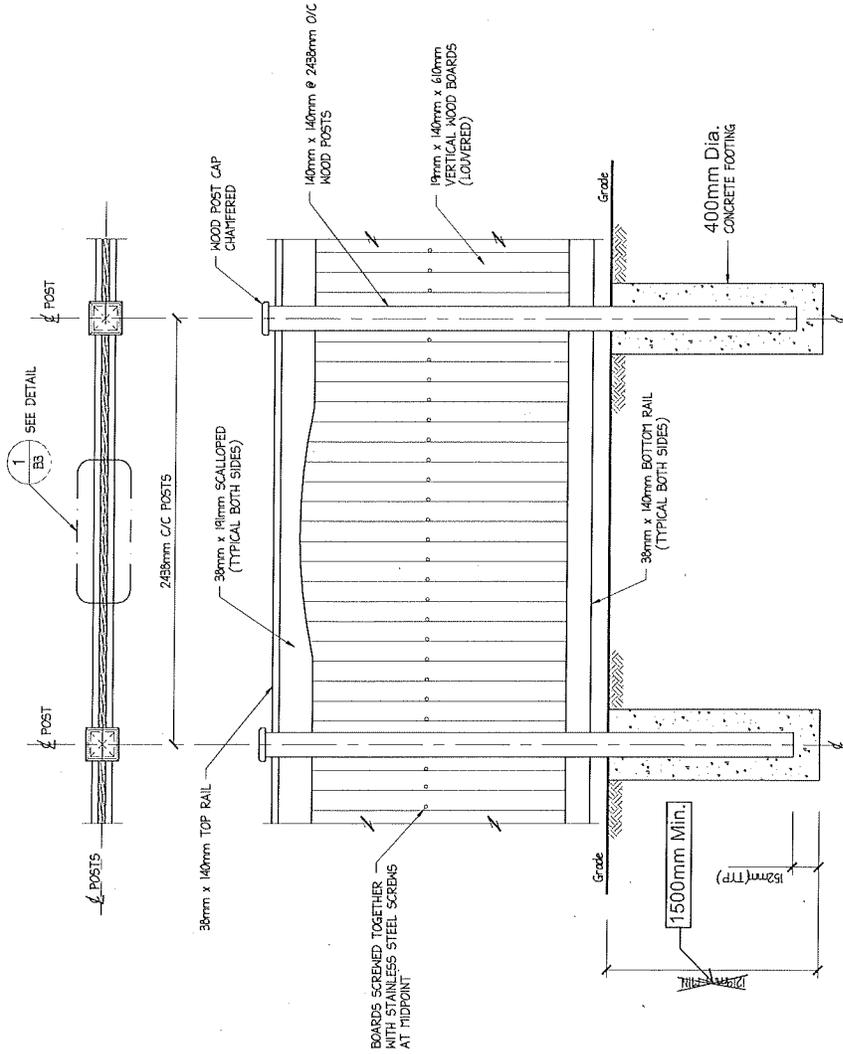
From: Annette Major <Annette.Major@county-lambton.on.ca>
Sent: Thursday, May 15, 2025 3:07 PM
To: firechief@brocktonkingston.com



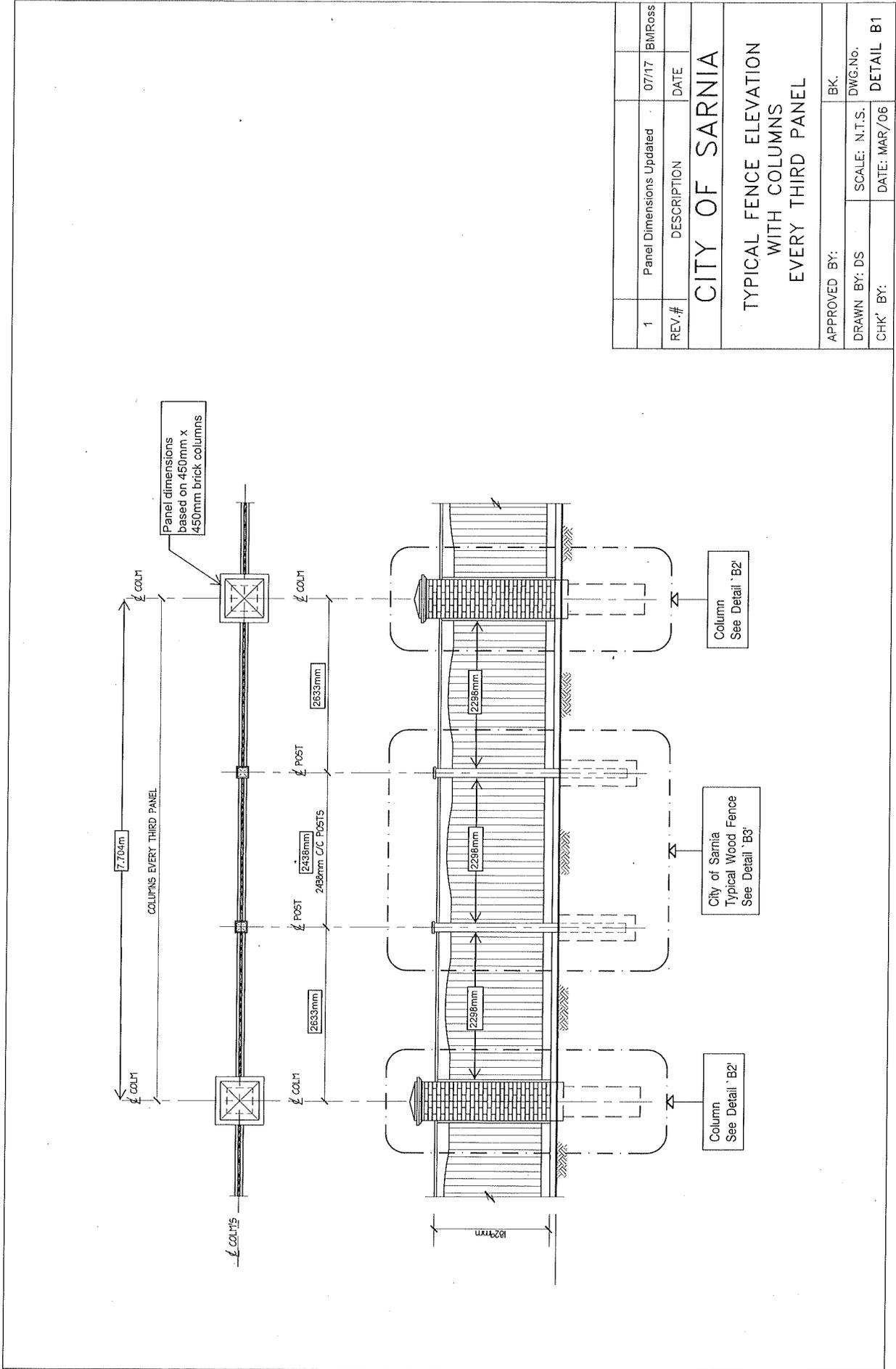
Detail
Section View of Fencing
1
B3

Notes:

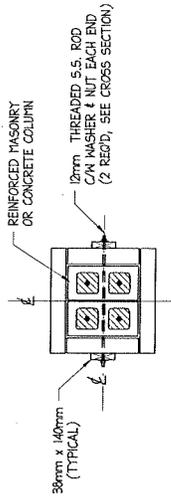
- 1) ALL WOOD MATERIAL TO BE PRESSURE TREATED.
- 2) FOOTING SIZE AND DEPTH TO BE DESIGNED BY AN ENGINEER TO SUIT LOCAL SOIL CONDITIONS AND WIND LOADING.



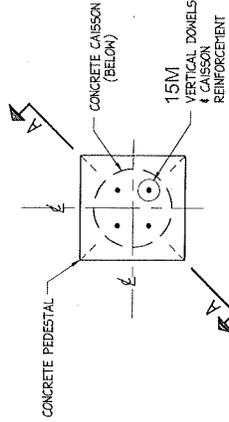
1	Footings sizing added	08/17	BMROSS
REV.#	DESCRIPTION	DATE	
CITY OF SARNIA			
TYPICAL WOOD FENCE			
APPROVED BY:	BK.		DWG.No.
DRAWN BY: DS	SCALE: N.T.S.		DETAIL B3
CHK' BY:	DATE: MAR/06		



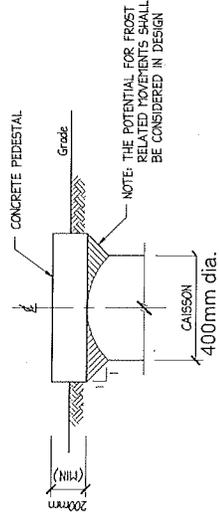
- Notes:**
1. Design Criteria
 *1/10 Wind Pressure for Sarnia 0.36kPa
 *Ce = 0.7 for Urban
 *Cg = 2.5
 2. Allowable soil bearing pressure = 145 kPa
 3. Passive earth coefficient Kp = 3.0
 Unit weight of soil = 20.4 KN/m³
 4. Reinforcing steel grade 400
 5. Concrete CSA exposure class C-2
 32 MPa compressive strength at 28 days,
 air entrained.
 6. Cast concrete directly against earth.



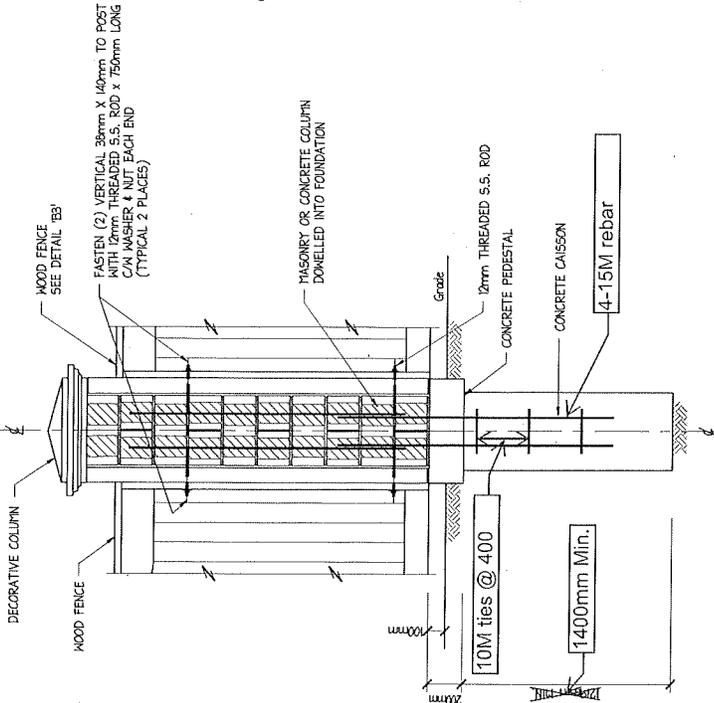
Plan View
Column Detail



Plan View
Concrete Foundation Detail

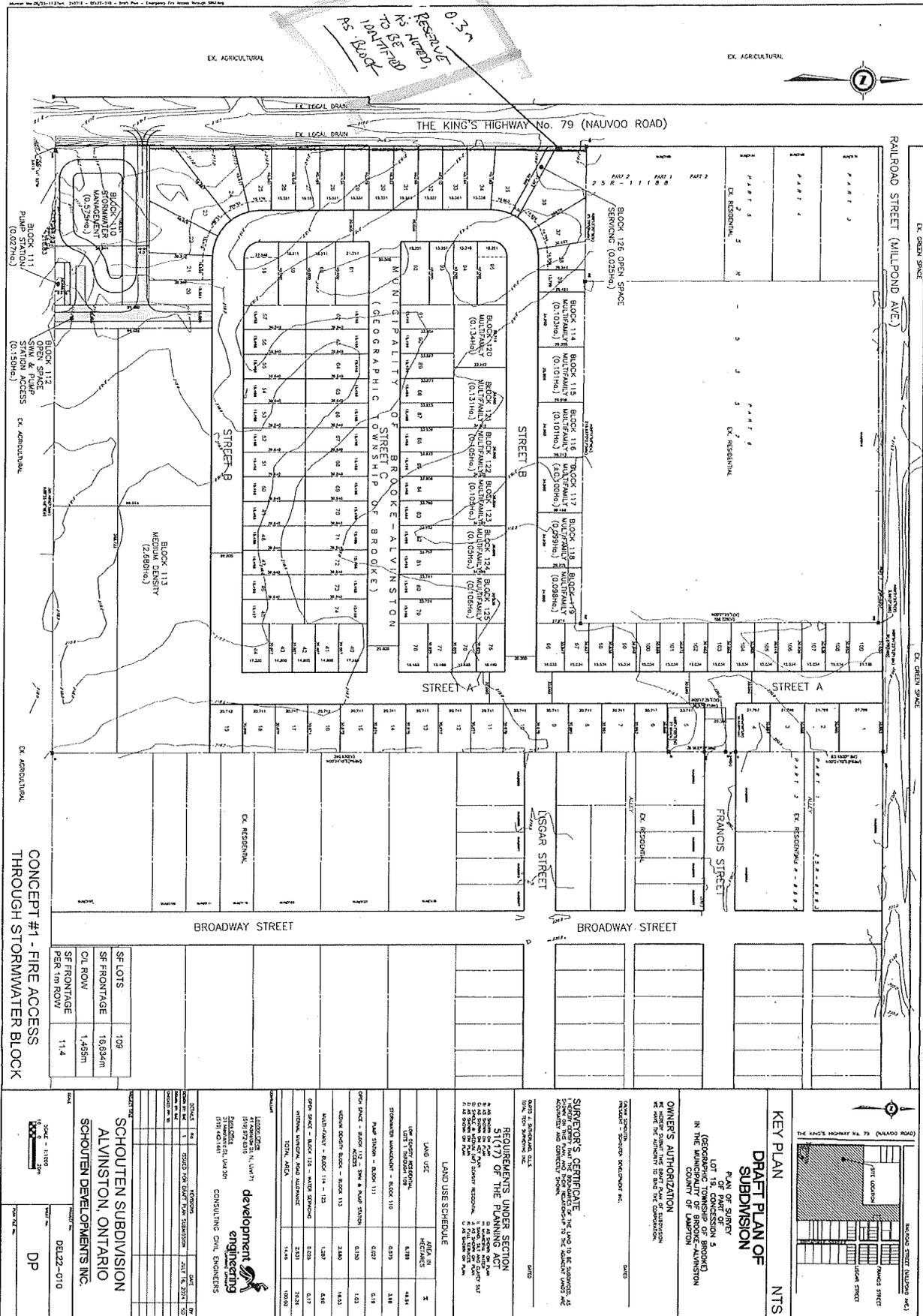


Section 'A-A'
Foundation Details



Column Cross Section

1	Feeling sizing and reinforcement added	08/17	BNIROSS
REV.#	DESCRIPTION	DATE	
CITY OF SARNIA			
TYPICAL FENCE DETAILS WITH COLUMNS			
APPROVED BY:	BK.		
DRAWN BY: DS	SCALE: N.T.S.	DWG.No.	
CHK' BY:	DATE: MAR/06	DETAIL	B2



CONCEPT #1 - FIRE ACCESS THROUGH STORMWATER BLOCK

SF LOTS	108
SF FRONTAGE	16,834m
OIL ROW	1,455m
SF FRONTAGE PER 1m ROW	11.4

DATE: 08-22-010
 SCALE: 1:1000
 PROJECT: DP

SCHOUTEN SUBDIVISION
 ALVINSTON, ONTARIO
 SCHOUTEN DEVELOPMENTS INC.

development engineering
 CONSULTING CIVIL ENGINEERS

REQUIREMENTS UNDER SECTION 51(17) OF THE PLANNING ACT

LAND USE	AREA, m ²	HEIGHTS
LOW DENSITY RESIDENTIAL	5,188	44.14
STANDARD RESIDENTIAL - BLOCK 110	9,519	2.18
STANDARD RESIDENTIAL - BLOCK 111	4,027	5.19
PUMP STATION - BLOCK 111	5,150	1.63
OTHER SPACE - BLOCK 112 - PUMP & PUMP STATION	2,880	18.83
VEHICLE STORAGE - BLOCK 113	1,291	6.86
MULTI-FAMILY - BLOCK 114 - 123	1,291	6.86
OPEN SPACE - BLOCK 124 - MULTI STORAGE	5,203	6.17
VEHICLE STORAGE - PUMP STATION	2,201	20.24
OTHER SPACE	1,944	10.00

SURVEYOR'S CERTIFICATE
 I, the undersigned, being duly qualified and sworn, do hereby certify that the foregoing is a true and correct copy of the original plan as deposited in the office of the Registrar of Deeds and is a true and correct copy of the original plan as deposited in the office of the Registrar of Deeds.

OWNER'S AUTHORIZATION
 I, the undersigned, being duly qualified and sworn, do hereby authorize the undersigned to execute the foregoing plan as a true and correct copy of the original plan as deposited in the office of the Registrar of Deeds.

KEY PLAN
DRAFT PLAN OF SUBDIVISION
 NTS

From: [Ontario Lands](#)
To: [Annette Major](#)
Subject: Enbridge Gas Inc. automatic reply for notifications
Date: Thursday, May 15, 2025 3:13:43 PM

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

Thank you for your email and we will attempt to respond within 1-3 business days.
 If your email is regarding the notifications listed below, please see our standard comments.

Zoning Notices

Enbridge Gas does not object to the proposed application(s), however, we reserve the right to amend or remove development conditions.

Please always call before you dig, see web link for additional details: <https://www.enbridgegas.com/safety/digging-safety-for-contractors>

Draft Plan of Condo or Subdivision

All Ontario except City of Hamilton:

Thank you for your correspondence with regards to draft plan of approval for the above noted project.

It is Enbridge Gas Inc.'s request that prior to registration of the plan, the Owner shall make satisfactory arrangements with Enbridge Gas Inc. (Enbridge Gas) to provide the necessary easements and/or agreements required by Enbridge Gas for the provision of local gas service for this project. Once registered, the owner shall provide these easements to Enbridge Gas at no cost, in a form agreeable and satisfactory to Enbridge Gas.

City of Hamilton:

Please contact gdssoutheastnewbusinesshamilton@enbridge.com to receive formal comment.

Site Plan

All Ontario except the City of Hamilton:

Thank you for your correspondence regarding the proposed Site Plan Application. Enbridge Gas Inc. (Enbridge Gas), does have service lines running within the area which may or may not be affected by the proposed Site Plan.

Should the proposed site plan impact these services, it may be necessary to terminate the gas service and relocate the line according to the new property boundaries. Any service relocation required would be at the cost of the property owner.

If there is any work (i.e. underground infrastructure rebuild or grading changes...) at our easement and on/near any of our existing facilities, please contact us as early as possible

(minimum 1 month in advance) so we can exercise engineering assessment of your work to ensure the integrity of our main is maintained and protected.

Confirmation of our natural gas pipeline location should be made through Ontario One Call 1-800-400-2255 prior to any activity.

We trust the foregoing is satisfactory.

City of Hamilton:

Please contact gdssoutheastnewbusinesshamilton@enbridge.com to receive formal comment.

Severance Applications:

It is the responsibility of the applicant to verify the existing gas servicing does not encroach on more than one property when subdividing or severing an existing land parcel. Any service relocation required due to a severance would be at the cost of the property owner. For any encroachments, please contact ONTLands@enbridge.com

From: [Robin Ellwood](#)
To: [Annette Major](#)
Subject: RE: Agency Circulation and Notice of Application of Zoning By-law Amendment & Draft Plan of Subdivision -38T-25002 Brooke-Alvinston
Date: Thursday, May 15, 2025 3:35:21 PM

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

No issues from Enbridge Gas

Thank you,

Robin Ellwood
Supervisor Operations
Sarnia

ENBRIDGE
TEL: 519-344-3676 Ext. 5131099 | CELL: 519-330-1907
Robin.Ellwood@enbridge.com
140 Business Park Dr.
Sarnia, ON
N7W 0A3

enbridge.com
Safety. Integrity. Respect.

From: Annette Major <Annette.Major@county-lambton.on.ca>

Sent: Thursday, May 15, 2025 3:07 PM

To: [firoch...](#)

[Faint, mostly illegible email body text follows]



RE: Agency Circulation and Notice of Application of Zoning By-law Amendment & Draft Plan of Subdivision -38T-25002 Brooke-Alvinston

From Shelby Campbell <scampbell@scrca.on.ca>

Date Tue 6/3/2025 11:26 AM

To Annette Major <Annette.Major@county-lambton.on.ca>

Cc William Nywening <William.Nywening@county-lambton.on.ca>; Ezio Nadalin <ezio.nadalin@county-lambton.on.ca>; Corrine Nauta <Corrine.Nauta@county-lambton.on.ca>; Janet Denkers <Jdenkers@brookealvinston.com>

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

Hello,

Thank you for circulating us. SCRCA can offer the following comment:

ZBA & 38T-25002 – 3146 Nauvoo Road – PL#2025-0047

SCRCA has reviewed the subject property and has no concerns with the proposed zoning by-law amendment or draft plan of subdivision. The subject property appears to be outside of the area regulated by Ontario Regulation 41/24, however, if the proposed stormwater management pond is outletting to a watercourse regulated by Ontario Regulation 41/24, written permission from the Conservation Authority will be required.

Kind regards,

Shelby Campbell
Planning Technician

St. Clair Region Conservation Authority
 205 Mill Pond Cres., Strathroy, ON N7G 3P9
 Tel: 519-245-3710 Ext. 276 Fax: 519-245-3348
scampbell@scrca.on.ca
 Website: www.scrca.on.ca



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From: Annette Major <Annette.Major@county-lambton.on.ca>

Sent: May 15, 2025 3:07 PM

To: _____

From: [Melissa Tait](#)
To: [Planning.Public](#)
Cc: [Janet Denkers](#)
Subject: R3 zoning opposition, Brooke Alvinston
Date: Monday, June 2, 2025 7:54:31 AM

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

Dear Members of Council,

I am writing as a concerned resident of Brooke-Alvinston to formally oppose the proposed zoning by-law amendment that would rezone a portion of land from R1 (Residential – Low Density) to R3 (Residential – High Density), allowing for the development of 109 single-family homes and 12 multi-family units.

While I understand the need for growth and housing development, I have serious concerns about the current proposal:

Lack of Green Space: The proposed plan does not appear to include any designated green space or parkland for future residents. With such a high number of homes, this omission is troubling. Green spaces are essential for community well-being, recreation, and environmental sustainability. Where are all the children going to play? The closest park is across town. This leads me to believe that the only viable option is the street, or on nearby neighboring land like the solar panel lot or Alvinston Estate side lot or my own back yard.

Emergency Access and Safety: The subdivision design includes only two entry/exit points, both located on the northeast end within 100 yards of each other. This creates a significant safety risk for residents, particularly those living on the southern end of the development. In the event of a fire or other emergency, limited access could delay emergency response and evacuation of these homes. There needs to be south access from Nauvoo Rd. This would also lower the number of vehicles entering and exiting at the northeast entrance.

Pedestrian Safety: There are no sidewalks on any of the existing side streets (Mill Pond Ave, Broadway, Francis, Lisgar St). Posing a huge pedestrian safety concern for all the kids and adults who will be riding bikes, walking pets, or any other commuting in and out of the subdivision.

Traffic Impact: As a nearby homeowner, I am deeply concerned about the increased traffic volume this development will bring. The current road infrastructure may not be equipped to

handle the additional load, leading to congestion, noise, and potential safety hazards for pedestrians and children. It also poses concern for water shedding and flooding.

I respectfully urge the Council to reconsider or revise the proposed amendment to address these issues. Specifically, I recommend:

Including adequate green space and recreational areas in the development plan.

Reassessing the subdivision layout to ensure multiple access points for emergency and daily use and pedestrian Safety.

Conducting a thorough traffic impact study and implementing mitigation measures.

Thank you for your attention to this matter. I would appreciate being kept informed of any public meetings or updates regarding this proposal.

Sincerely,

Melissa Tait

To whom it Concern,

I am a current resident of Francis St in Alvinston for over 10 years. Before that we lived on Elgin St for 12 years, so a long-term resident of Alvinston. I received in the mail the proposal of a new sub-division going in at the end of Francis St.

I have a few concerns with the plans that were mailed to us. Looking at the plan the first thing that jumps to my mind is that is a lot of houses/residents in a very small space with no "greenspace". The second thing that jumps to mind is the plan of how to get in and out of the sub-division. Right now, the plan is an entrance off Francis St and off Millpond (almost side by side). If there is a fire at the corner of Francis St and the new street no one will be able to get out of the sub-division. It would be better in my mind to have an entrance off Millpond and the second entrance off highway 79 or even at the end of Broadway (by the current butcher shop). Another concern that arises is Francis St is a very narrow street with no sidewalks. In fact, there are no sidewalks at all at our end of the town except for River St.

I am not opposed to the sub-division going in, just the plan of having over 200 homes in a very small space with poor planning of a way in/out and no greenspace of any kind.

David & Rosanna Searson



FW: proposed subdivision

From

Date Thu 6/5/2025 1:00 PM

To Planning.Public <planning@county-lambton.on.ca>

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

From:

Sent: June 5, 2025 12:37 PM

To: 'planning@county-lambton.on.c' <planning@county-lambton.on.c>

Subject: FW: proposed subdivision

From:

Sent: June 5, 2025 12:34 PM

To: 'planning@county-lambton.on.c' <planning@county-lambton.on.c>

Subject: proposed subdivision

As a resident in Alvinston for the past 10 years it is nice to see our town expand. But I have concerns with the present proposed plan the following is a list of my concerns.

1. There is no green space provided for children to play with over 200 residences proposed, we already lack playground area in the south part of Alvinston.
2. There are only 2 entrances to this area for over 200 houses which are close together if a major emergency occurs. Changing the one entrance from Francis to Lisgard would help and would not affect as many present residents with the increased traffic.
I know from previous experiences with Lambton Country roads that they are overly protective of their roads. It would make more sense to have an entrance on Nauvoo with either stop lights or a roundabout.
3. With the number of vehicles families have these days is there enough room for parking. Where do people park if visiting. Are there enough room in these lots for more than 1 or 2 cars.
4. The postage size lots do not bode well for families to enjoy their yards.
5. I do not see in the plans for sidewalks or bicycle lanes. There is potential for a lot people walking or children playing on the street.

As this project has the potential to almost double the size of our town let us get it right and continue the feeling the way of life that has made Alvinston a great place to live.

Roy And Deb Searson
8065 Mill Pond Ave

RECEIVED
JUN 10 2025

June 10, 2025
Alvinston

Clerk and Council of Brooke Alvinston,

As concerned citizens of Alvinston and for the safety of the residents of Mill Pond Ave, we would like you to consider putting in a sidewalk along Mill Pond Ave.

With the new complex going in behind and a road going off Mill Pond the traffic is going to increase immensely. It is not safe to walk on the shoulder, as it is not wide enough, and some have slipped down the embankment.

Mill Pond Ave is used by many bicycle riders, joggers, dog walkers, and people who use wheelchairs and scooters.

We have asked council before about this issue and we hope for the safety of all, who use this busy street, that you will consider this.

Thankyou for your consideration,

Cora Mae Woodfield
Anne Redick
Marlene Oliver

Cora Mae Woodfield 6/10/25
a Redick 6/10/25
Marlene Ovr. 6/10/25

[Handwritten signature]

RECEIVED

Annette Major

From: Eric Lachapelle
Sent: Tuesday, June 3, 2025 2:21 PM
To: Planning.Public
Subject: opposition to zoning -new subdivision
Attachments: alvinston.docx

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

Hello,

This letter is to adress zoning concerns and oposition to r3 zoning and for consideration of herritage value within our community.

Please find attached;

regards,

	<p>Eric Lachapelle, CET Jr. Project Coordinator & Estimator, CSM E&I Ltd.</p> <hr style="border-top: 1px dashed black;"/> <p>PHONE EMAIL WEB ADDRESS Emerger Contact</p>
---	--

The contents of this e-mail and any attachments are intended only for the use of the individual or entity to which it is addressed and may contain information that is privileged, proprietary or confidential and exempt from disclosure. If you are not the intended recipient, you are notified that any dissemination, distribution or copying of this communication is strictly prohibited. If you have received this communication in error, please notify the sender and destroy this message immediately. Canadian Structural & Mechanical Ltd. does not accept liability for information or statements, which are those of the author and not clearly made on behalf of the company.

I am writing this letter to ensure heritage value and integrity to this beautiful little town call home.

This quint town possesses tranquility to raise a family. Throughout the year I've watched numerous families return to where they grew up as part of their historical upbringing.

Alvinston offers a great community environment with young families now returning with the peace of mind that the friendships built here are none other experienced in larger urban communities.

Alvinston offer large lots, with space for the kids to roam and develop their imaginations and skills with family-oriented guidance.

It is also known for the neighborly shared story at our local convenience stores and town restaurant; we know each other by name and that is of great value to heritage.

We need parks, green space and more to offer to accommodate such a large development and consider the people of this community.

I don't believe building R3 zoning homes is integral to the history of this community and oppose it!

Single family dwelling, where the families can build memories and grow the community, is the key to adding in our community what we need to build our infrastructure.

Building multi-family units is not essential to healthy community growth. Suggestion /thought of semies geared for lower income families and /or starter home. I strongly believe this is a great alternative to multifamily dwellings.

This caters to families with a purpose and drive to work daily and not people from far away who depend on our hard-earned money to get by and think of ways to get themselves in trouble and /or cause trouble for others. That is not the healthy growth the community needs.

We need stability to sustain healthy communal growth for the deserved needs of our infrastructure and day-to-day necessities. Like a grocery store, a reason for members to invest locally and build a community worth fighting for.

Consideration for the safety of our children and the new families joining us should be of utmost priority. Proposing an alternative entrance to the new subdivision for instance is strongly suggested.

- Navoo road
- Highway 80
- branching directly from River Street

This is to be considered for safety and emergency purposes.

Not through a rural family street like Francis Street.

Possibly Lisguard where there is more of a windy road to slow traffic.

I strongly believe that more consideration for the community is the approach to family orientated growth with sustainability ensuring constant and stable growth economically and communally for the future to be experienced by the generation.

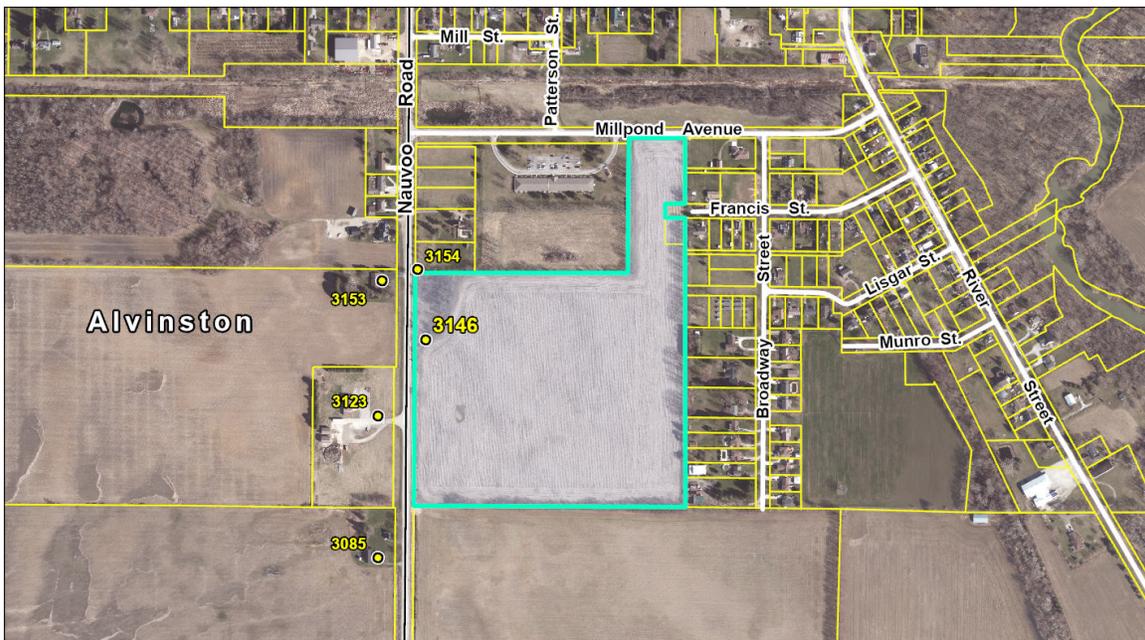
I am a part of a multi-generational family who have thrived from the benefits of this community and want to witness the growth and opportunity the past has offered to this family, families migrating here for the same reason we all experience daily

I'm asking that this be considered too great length.

Pro-growth and development for the greater good of this beautiful community!

	<p>PLANNING AND DEVELOPMENT SERVICES REPORT</p>	
<p>REPORT TO:</p>	<p>MUNICIPALITY OF BROOKE-ALVINSTON</p>	
<p>PREPARED BY: (COUNTY)</p>	<p>Ezio Nadalin, Planner</p>	
<p>APPROVED BY: (COUNTY)</p>	<p>Will Nywening, Senior Planning Official</p>	
<p>MEETING DATE:</p>	<p>June 19, 2025</p>	
<p>SUBJECT:</p>	<p>Zoning Bylaw Amendment Application Plan of Subdivision Application (File 38T-25002) 3146 Nauvoo Road, PART OF LOT 19, CONCESSION 5 Applicant: Calvin Schouten Agent: Monteith Brown Planning Consultants</p>	

SITE PHOTO:



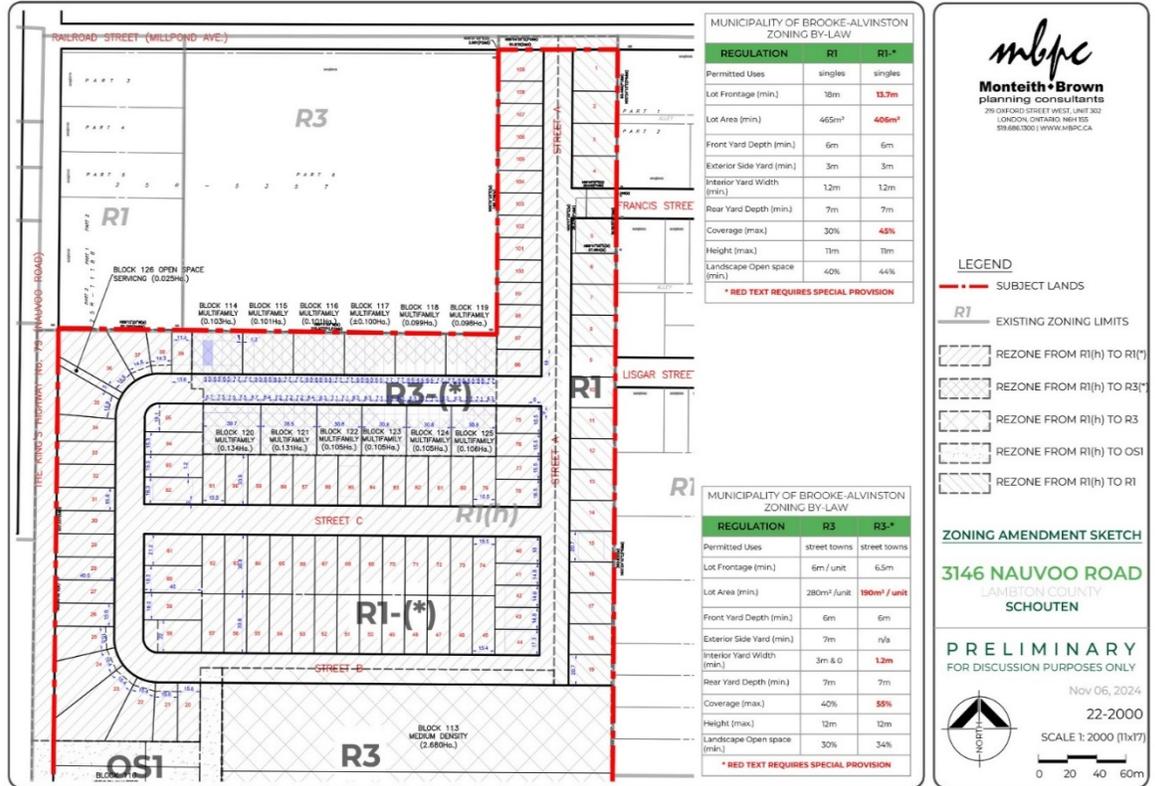
EXECUTIVE SUMMARY:

The applicant seeks Draft Approval for a Plan of Subdivision and also approval of a corresponding Zoning By-law Amendment.

The subdivision application is submitted to the County of Lambton and is a decision of the County Approval Authority. The purpose of the application is to permit a mixed-density residential plan of subdivision on lands known as 3146 Nauvoo Road. The plan would consist of a total of 109 lots for single detached dwellings, 12 blocks for a

total of 56 street-facing townhouses, and one block for a cluster townhouse development of approximately 79 units. The plan would also include 4 servicing blocks including a stormwater management facility.

The Zoning By-law amendment is submitted to the Municipality and is a decision of



Municipal Council. It proposes amendments to the Municipality of Brooke-Alvinston Comprehensive Zoning By-law 9 of 2013 as it applies to the noted lands. The proposed Zoning By-law Amendment seeks to re-zone the subject property from the “Residential 1 (h) (R1-h)” into several separate zones, as shown in Diagram 1, to accommodate a range and mix of housing options related to the proposed Plan of Subdivision (38T-25002).

Diagram 1: Showing Proposed Development Re-Zoning as Provided by the Consultant

The proposed “Residential 1 (R1)” zone is an existing zone that would permit lots intended for single detached dwellings. The proposed “Residential 1 – Site Specific (R1-*)” zone would permit lots also intended for single detached dwellings but with minimum lot frontages of 13 m, minimum lot areas of 405 m², and maximum lot coverages of 45%, whereas the standard R1 Zone requires 15m minimum lot frontages, 465 m² minimum

lot areas, and 30% maximum lot coverage. The proposed “Residential (R3)” zone is the Municipality’s standard multiple dwelling zone and would permit a block intended to be developed for townhouse units. The proposed “Residential 3 – Site Specific (R3-*)” zone would permit a number of blocks also intended for townhouse units but permitting a density of one unit per 200 m² of lot area, a maximum lot coverage of 55%, and minimum interior side yard setbacks of 1.2 metres, whereas the standard R3 Zone permits one unit per 280m² of lot area, maximum lot coverage of 40%, and 3 m minimum interior side yards. The proposed “Open Space 1 (OS1)” zone would apply to proposed stormwater management and servicing blocks.

RECOMMENDATION(S):

That the report from the County of Lambton Development Services Department be received;

That the Zoning By-law Amendment submitted respecting 3146 Nauvoo Road be approved;

That the implementing by-law for the Zoning By-law Amendment be passed;

That Council endorse the Conditions of Draft Subdivision Approval as presented in the Staff Report and / or that Council recommend any additions or changes to the proposed Conditions of Approval that it believes advisable.

REASONS FOR RECOMMENDATION(S):

The proposed development has planning merit, is consistent with the 2024 Provincial Planning Statement (PPS), conforms with the County and Municipal Official Plans, and represents good planning.

The proposed subdivision layout and conditions of draft plan of subdivision approval will address matters of public and municipal interest.

BACKGROUND/SITE CONTEXT:

The subject property is irregularly shaped and is approximately 14.2 hectares (35 acres) in size. The subject property is a vacant parcel currently used as farmland and is located on the east side of Nauvoo Road. It presently has direct access to Nauvoo Road and Millpond Avenue and abuts the end of road allowances for Francis Street and Lisgar Street.

The Zoning Bylaw Amendment and Plan of Subdivision applications were submitted with plans and studies in support of the development applications including:

1. Draft Plan of Subdivision
2. Planning Justification Report
3. Phase I Environmental Site Assessment
4. Archaeological Assessment
5. Geotechnical Report
6. Traffic Impact Study
7. Preliminary Servicing and Stormwater Management Report

8. Environmental Impact Study

TECHNICAL REPORTS:

The applicant completed a Phase 1 Environmental Site Assessment. It identified no past uses that are likely to have left of site contaminants and recommended no further investigation.

The applicant completed an Environmental Impact Study that did not identify any significant natural heritage features or functions. It made recommendations for a tree preservation plan and respecting the timing of any tree removals. The Municipality may consider incorporating these recommendations into the subdivision agreement.

The applicant completed a Stage 1 – 2 Archaeological Assessment which found no archaeological artifacts.

The applicant completed a Traffic Impact Study that concluded the existing road network could accommodate the traffic produced by the development without the need for improvements to existing roads.

The applicant completed a Preliminary Servicing Report, which includes a concept for how the subdivision will be serviced with municipal water and sanitary sewers and how stormwater will be managed. It also looks at the capacity in municipal infrastructure to provide services. The detailed servicing plans will be developed and included in a subdivision agreement as a condition of draft approval. The Municipality had the servicing report peer reviewed and updated to address the peer reviewer's questions. The preliminary servicing report shows that the proposed subdivision can be serviced and that capacity exists in the municipal infrastructure to service the development. Servicing is discussed in more detail below.

The applicant completed a Geotechnical Report which gives recommendations that will be relevant to the detailed design and construction of the subdivision and future dwellings. The conditions of approval require this report's recommendations be incorporated into a subdivision agreement.

WRITTEN SUBMISSIONS:

At the time of submitting this report, written submissions have been received from several public agencies as well as four items from members of the public. All are included in full in Council's agenda.

The submissions from members of the public included comments made with respect to servicing, parkland / greenspace, traffic / site access, sidewalks / pedestrian safety, and the introduction of R3 Zoning and townhouse-type dwellings.

Bluewater Power advises it has no assets within the bounds of the subdivision. The conditions of draft approval require Bluewater Power to approve the proposed electrical servicing plans as part of the detailed subdivision design.

Canada Post commented on its requirements for the installation of community mail boxes and communicating postal delivery details to future owners. These requirements are included in the conditions of draft plan approval.

County of Lambton Public Works commented respecting the plan of subdivision's relation to Nauvoo Road, which is County Road 79. County Public Works was involved in pre-consultation and assisted in drafting the proposed conditions of approval. The conditions require that a 0.3m reserve be conveyed to the County abutting Nauvoo Road. County Public Works will not permit a direct access to Nauvoo Road for either a new street or individual lots, either permanent or for construction. It will however permit an emergency access via the stormwater management block.

Enbridge Gas Inc. requires that the proponent convey the necessary easements for the provision of natural gas. This is addressed in the conditions of consent.

St Clair Region Conservation Authority notes the development is outside their regulated area, but that the stormwater outlet may require their approval under the *Conservation Authorities Act*. This potential requirement is addressed in the conditions of draft approval.

Lambton Public Health writes about the connection between physical and mental health and active transportation. They recommend installation of sidewalks to connect to River St or Railroad Line. They recommend a greater proportion of higher density residential than is currently proposed.

REQUIRED AND FUTURE APPROVALS:

The proposed Zoning By-law amendment is submitted to the Municipality and is a decision of Municipal Council. The proposed amendments are necessary to support the layout of the subdivision as proposed.

The proposed Subdivision is submitted to the County of Lambton and is a decision of the County Approval Authority. Initial approval would be "draft" and require that the proponent satisfy a number of conditions before "final" approval is granted to register the plan of subdivision.

The most significant condition of draft subdivision approval, if granted, is the requirement for the proponent to enter into a subdivision agreement with the Municipality, which will require Council approval. This agreement will address the detailed design of the subdivision and all matters of public and municipal interests, financial and otherwise, associated with the physical construction of the subdivision.

The proposed block for cluster townhouse development at the south boundary of the subject lands would be subject to further approvals in the form of site plan approval.

DRAFT PLAN OF SUBDIVISION:

The applicant has requested draft approval for a plan of subdivision. The draft plan is included in Council's agenda. Draft approval of the plan will be subject to a list of conditions. Upon completion of the conditions and any required modifications to the plan, the proponent may register the plan (potentially in phases).

Draft plan approval is a decision of the Lambton County Approval Authority. A list of the draft conditions proposed by County Development Services Staff, along with a brief explanation of each condition, is appended to this report (Attachment 3). Additional conditions or modifications to the conditions may be advisable after receiving input from Council and receiving feedback through the public meeting and consultation.

Stormwater

Stormwater would be collected internally and directed to a stormwater management pond in the southwest corner of the development. The pond would provide quality and quantity control. The facility would outlet to the roadside along County Road 79 which becomes the Pray (Municipal) Drain. It may be necessary to extend the Pray Drain by petition under the *Drainage Act* in order to create a legal outlet. This can be addressed through the detailed subdivision design and subdivision agreement.

Water

The subdivision would be serviced by an internal water distribution system connecting to existing waterlines on Millpond Ave, Francis St, and (via a servicing block) to Nauvoo Road.

Sanitary

Sanitary would be collected by gravity to a pumping station adjacent to the stormwater management facility in the southwest corner of the subdivision and then pumped by force main to the existing sanitary sewers on Francis St.

Council needs to be aware of information regarding Alvinston's wastewater collection and treatment infrastructure / facilities that has emerged as part of the peer review of this development's servicing plans. At present, the analysis indicates that there is sufficient capacity in the wastewater system to accommodate the full build-out of this development. However, full build out is predicted to bring the wastewater treatment plant (WWTP) over 80% of its capacity and require that the Municipality plan for and expand the WWTP's capacity.

Staff notes that it is not this development only, nor the added density of allowing townhouses, that creates this situation. Alvinston has additional lands designated for development. Full build-out of the lands designated for development within Alvinston will require expansion of the WWTP.

This is not an immediate problem as full build-out of the development will take some years.

It is possible that other properties also develop and consume capacity before this development is fully built out. Therefore it is necessary that the Municipality assign / confirm capacity before each phase of development is completed. This is addressed in the draft conditions of approval.

A more detailed calculation of the capacity estimates is appended to this report (Attachment 2).

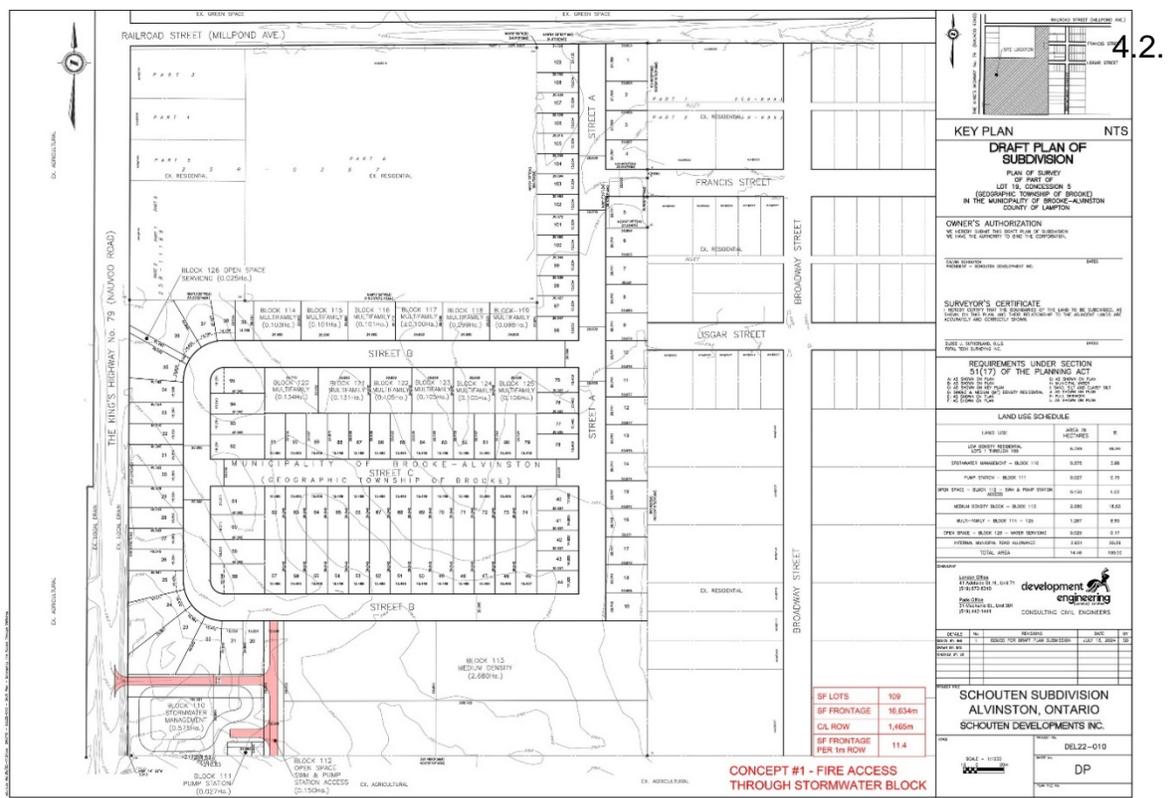
Access

The proposed subdivision's road layout would connect with Millpond Ave and Francis St. Written submissions from residents question the adequacy and appropriateness of this. County Public Works will not however permit a new intersection to Nauvoo Road. Instead, they have agreed to an emergency access over the stormwater management block (Block 110 – Diagram 2) that would be used in the case of planned or unplanned road closures. The Traffic Impact Study supports the proposed layout without suggestions for improvements to existing roads or intersections. The road connection to Francis St includes connections to sanitary and water services, but can be looked at further as part of the subdivision agreement, whether a road connection is necessary or beneficial or not.

A 0.3m reserve would be required along the edge of Nauvoo Road where it abuts residential lots. It would be conveyed to the County of Lambton in order to control access to Nauvoo Road.

Public input has questions about the location of sidewalks and expressed concerns about the safety of pedestrians on the streets within and external to the subdivision. The location of sidewalks along the streets within the subdivision and potentially external to the subdivision is something the Municipality can discuss with the applicant through the subdivision agreement and as part of the Municipality's own capital improvements.

Diagram 2: Showing proposed Emergency Fire Access



Parkland

Staff and public input have noted the lack of greenspace and parkland in the proposed subdivision. The *Planning Act* permits the Municipality to take up to 5% of the land as parkland, or an equivalent value as cash-in-lieu, or some combination of the two. This is addressed as a condition of draft approval.

If the Municipality thinks there is insufficient park space in this area of Alvinston, it may take one or more lots in the plan for development as a municipal park. Alternately, the Municipality may take a cash-in-lieu payment to invest in improving existing parks. The Municipality could also take a combination of land and cash equal to 5%.

It should also be noted that the lands within the subdivision that are proposed to be rezoned to Open Space (OS1) include the stormwater management pond and servicing blocks. These are not considered parkland.

APPLICATION ANALYSIS

Provincial Planning Statement 2024 (PPS):

The applications and proposed development are consistent with the Provincial Planning Statement 2024 (“PPS”), which promotes efficient development and land use patterns which sustain the financial well-being of the municipality over the long term. The proposed development is anticipated to utilize future municipal services which would ensure that the consumption of land and servicing costs are minimized. The proposed development would add to the density and mix of land uses in the Municipality of Brooke-Alvinston while maximizing compatibility with existing residential land uses to the

north and east of the subject property. The proposed development is located within the village of Alvinston, which is identified as a settlement area, which the PPS states shall be the focus of growth and development.

The proposed development is consistent with PPS policies requiring the provision of a range and mix of densities and housing options, including new development and intensification, to meet the needs of present and future residents. This is to be achieved through efficient development patterns that optimize the use of land, resources and public investment in infrastructure and public service facilities.

The proposed development will increase the mix and range of housing by providing both low-density (single-detached) and medium-density (townhouse) housing options. The proposal will generally be compatible with the existing abutting single family dwellings to the east and other nearby proposed future residential land uses, while contributing to the cost-effective development of a vacant lot for an appropriate residential use. Overall, the applications are consistent with the PPS.

County of Lambton Official Plan:

The County of Lambton Official Plan ("County OP") designates Alvinston as an Urban Settlement, which the OP identifies as an area where growth is to be directed. It encourages a range and mix of housing options to meet the housing needs of its residents. It also encourages the development and implementation of flexible local municipal zoning provisions to permit a range and mix of housing options.

The proposed development conforms with the Urban Settlement and Housing policies contained in the County OP. It will allow an existing vacant lot to be developed for a range of housing with access to full municipal services where residents are close to most services and daily necessities offered within Alvinston. The proposed development would redevelop the subject lands by incorporating compact forms of housing options on a currently underutilized vacant parcel within an Urban Settlement, therefore conforming with the County OP.

The subject property will greatly contribute to the overall housing supply for the Municipality of Brooke Alvinston while maintaining general compatibility in density to that which is currently found within the Town of Alvinston. Overall, the proposed applications conform to the County OP.

Municipality of Brooke-Alvinston Official Plan:

The subject land is designated "Residential" by the Brooke - Alvinston Official Plan. Section 2.1 of the Official Plan states that various types of dwellings will be permitted in Residential Areas. It also states that preference will be given to locating similar densities of development together. In this regard, this Section states that: *Varieties of residential dwelling types will not be mixed indiscriminately but will be arranged in a gradation so that higher density developments will complement those of lower density, with sufficient spacing to maintain privacy, and amenity.*

The applicant's concept plan suggests a proposed development that includes a range, mix and variable density of housing options in the form of single detached dwellings and townhouse dwellings. The proposed townhouse dwellings will be located primarily

adjacent to another, existing townhouse development to the north and to vacant agricultural lands to the south. The majority of the property abutting the east property line and existing single detached dwelling residential development will be developed for single detached dwellings with lot sizes meeting or exceeding the existing R1 Zone standards.

The present proposal would therefore conform with Section 2.1 of the Official Plan and takes into consideration the location of the abutting, existing development.

Section 2.1.1 states that the primary residential uses permitted in the Residential Areas are low-density housing types including single and semi-detached dwellings, duplexes, and triplexes. The Official Plan permits low density development to a maximum of 20 units per hectare. The proposed single detached dwellings have a density of only 16 units per hectare. The Official Plan permits medium density residential development to a maximum of 35 units per hectare. The townhouse concept presented equals a density of 34 units per hectare.

While several multi-unit housing options exist in Alvinston, the community's housing stock is primarily comprised of single detached dwellings. The proposed development includes a total of 109 low density residential lots, 12 townhouse blocks containing 56 units, and one medium density block containing approximately 79 cluster townhouse units. The proposed development will therefore be in conformity with Section 2.2.5 of the Official Plan, which promotes a mix of housing types and price points.

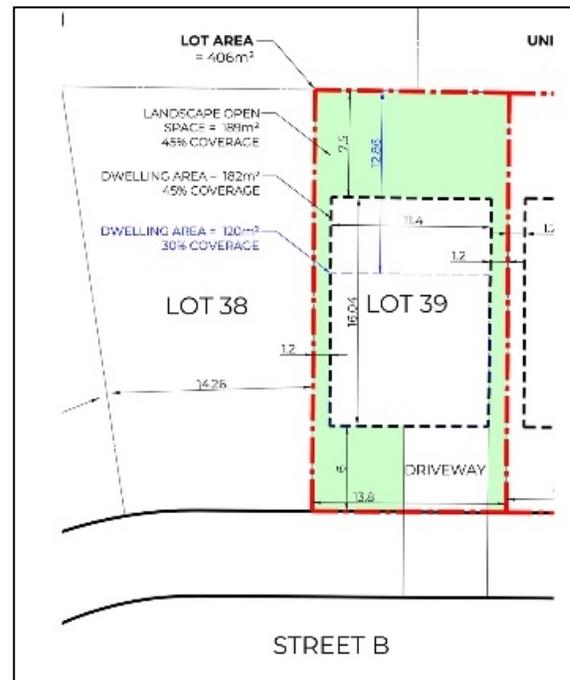
Municipality of Brooke-Alvinston Zoning By-Law:

The subject lands are currently zoned "Residential 1(H) (R1-H)" by the Brooke-Alvinston Zoning By-law. The "R1" Zone permits low-density residential uses, including single detached dwellings, semi-detached dwellings, and duplex dwellings.

The applicant has proposed rezoning the property to a variety of Zones, dependent on the housing-type being proposed for each area within the proposed Plan of Subdivision (see attached Diagram 1).

Lots along the majority of the eastern boundary of the site would remain in the R1 zone.

The proposed "Residential 1 – Site Specific (R1-12)" zone would apply to lots with various lot frontages ranging from 13 metres (42 ft) to 15 metres (49 ft) versus the 18 metre (59 ft.) frontage of the standard R1 zone and with lot areas ranging from 405 m² (0.1 acres) to 465 m² (0.11 acres), which is the required current standard. See image right. The site-specific zone would also permit a maximum lot coverage of 45%, whereas a maximum of 30% is currently required. The proposed reduction



The amending by-law, as drafted, would:

- Change the Zoning of the property from R1(H) to R1, R1(12), R3, R3(5), and OS1 as previously described (Diagram 1);
- Add section 7.3.12 to the Zoning By-law, which will contain the zone regulations for the new R1(12) Zone. The R1(12) Zone would permit single detached dwellings with a minimum lot frontage of 13m, minimum lot area of 405m², and maximum lot coverage of 45%. In all other respects the zone regulations would be the same as the standard, existing R1 Zone; and
- Add section 8.3.5 to the Zoning By-law, which will contain the zone regulations for the new R3(5) Zone. The R3(5) Zone would permit townhouse dwellings with a minimum lot area of 200m² per unit, 1.2m minimum interior side yards, and 55% maximum lot coverage. In all other respects the zone regulations would be the same as the standard, existing R3 Zone.

CONCLUSION:

Planning staff supports the approval in principle of the Zoning By-law Amendment as drafted and the Plan of Subdivision subject to the proposed conditions of draft approval. The proposed future residential development has planning merit because it is consistent with the Provincial Policy Statement (PPS), conforms with the County and Town Official Plans, and represents good planning.

The proposed conditions of draft approval of the plan of subdivision will address matters of public and municipal interest.

ATTACHMENT(S):

Attachment 1 – Proposed Zoning By-law Amendment

Attachment 2 – Excerpts Peer Review of Preliminary Servicing Report

Attachment 3 – Proposed Conditions of Draft Plan of Subdivision Approval

ATTACHMENT 1 – PROPOSED ZONING BY-LAW AMENDMENT



**CORPORATION OF THE
MUNICIPALITY OF BROOKE-ALVINSTON**

ZONING BY-LAW NO. [REDACTED] OF 2025

(Being a By-law to amend By-law 9 of 2013)

WHEREAS the Council of the Corporation of the Municipality of Brooke-Alvinston passed a comprehensive Zoning By-law 9 of 2013 on the 28th day of February 2013; and

WHEREAS the Council deems it desirable to make certain amendments to its comprehensive Zoning By-law;

NOW THEREFORE, the Council of the Corporation of the Municipality of Brooke-Alvinston enacts as follows:

1. Schedule "A", attached, is hereby declared to form part of this By-law.
2. Schedule "A" to By-law 9 of 2013 is hereby amended by changing the zone symbol that applies to those lands indicated on Schedule "A" to this By-law from the "Residential-1 -h (R1-h)" Zone" to the "Residential 1 (R1)", the Residential 1 – Site Specific (R1-12*), the "Residential (R3)", the R 3 – Site Specific (R3-5*)", and the Open Space 1 (OS1)" zones.
3. Section 7.3 of By-law 9 of 2013 is hereby amended by adding the following subsection:

7.3.12 RESIDENTIAL R1(12) ZONE

Notwithstanding the provisions of the R1 Zone, Single Detached Dwellings on lands zoned R-12 shall be subject to a minimum required Lot Frontage of 13 m, a minimum required Lot Area of 405 m², and a maximum Lot Coverage of 45%. In all other respects, the provisions applicable in the R1 Zone shall apply.

4. Section 8.3 of By-law 9 of 2013 is hereby amended by adding the following subsection:

8.3.5 RESIDENTIAL R3(5) ZONE

Notwithstanding the provisions of the R3 Zone, Townhouses on lands zoned R3-5 shall be subject to a minimum Lot Area requirement of 200 m² per Dwelling Unit, a maximum Lot Coverage of 55%, and minimum Interior Side Yard Setbacks of 1.2 metres. In all other respects, the provisions applicable in the R3 Zone shall apply.

- 5. This By-law shall come into force and effect pursuant to Sections 34 (21) or Section 34 (30) of the Planning R.S.O. 1990.

Read a first, second and third time and finally passed this 19th day of June, 2025

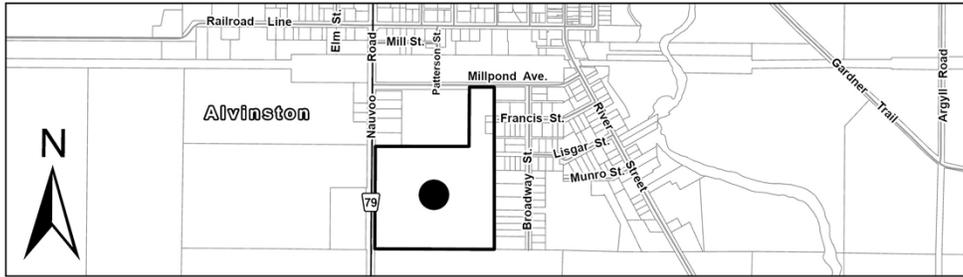
David Ferguson, Mayor

Janet Denkers, Clerk Administrator

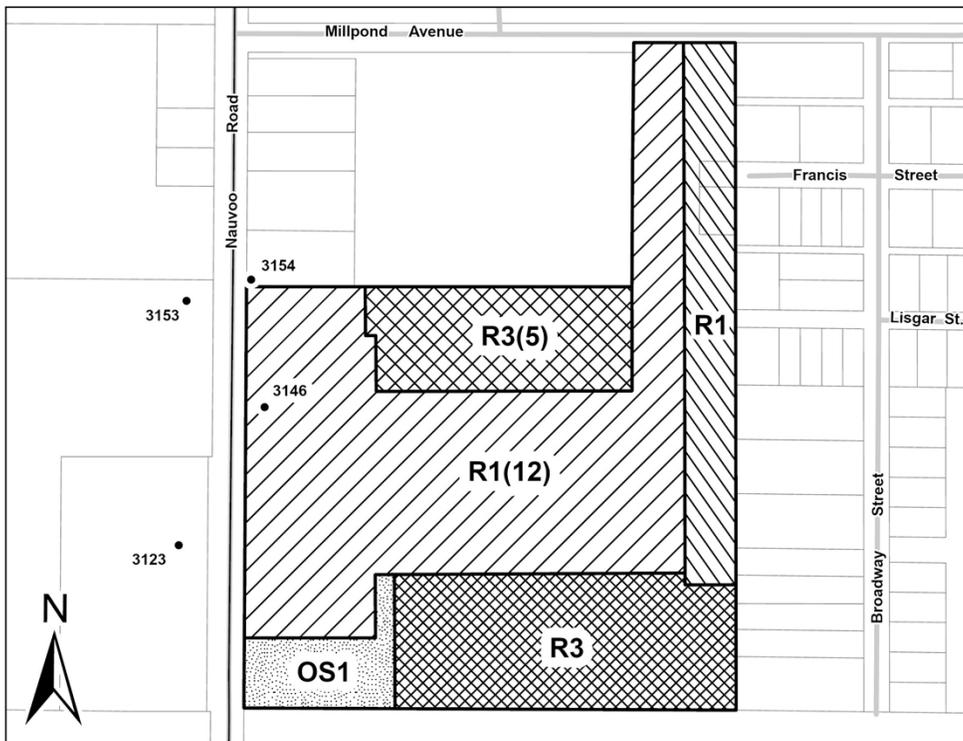
Municipality of Brooke-Alvinston
SCHEDULE "A"
 to By-law No. _____

Dated this _____ Day of _____, 2025

Signed: _____
 David Ferguson, Mayor Janet Denkers, Clerk-Administrator



● Subject Properties



APPLICANT: C&L Schouten Farms Inc.

LOCATION: CON 5 W PT LOT 19 and CON 5 PT LOT 19 RP 25R8993 PART 3
 3146 Nauvoo Road, Municipality of Brooke-Alvinston

File:

**CORPORATION OF THE
MUNICIPALITY OF BROOKE-ALVINSTON**

ZONING BY-LAW NO. [REDACTED] OF 2025

Explanatory Note

The purpose of this By-law is to rezone the municipally described property known as 3146 Nauvoo Road.

The rezoning would amend the Zoning Bylaw to allow for the future residential development. The re-zoning from the present "Residential 1 (h) (R1-h)" zone into several separate zones include: the "Residential 1 (R1)" zone, "Residential 1 – Site Specific (R1-12)" zone which permits single detached dwellings lots minimum lot frontages of 13 m, minimum lot areas of 405 m², and maximum lot coverages of 45%; the "Residential (R3)" zone which allows for multiple dwelling units to be developed for townhouse units; the "Residential 3 – Site Specific (R3-5)" zone which would permit townhouse units with a permitted density of one unit per 200 m² of lot area, a maximum lot coverage of 55%, and minimum interior side yard setbacks of 1.2 metres; and an "Open Space 1 (OS1)" zone which would apply to proposed stormwater management and servicing blocks of the proposed Plan of Subdivision.

The Key Map shows more particularly the lands affected.

**ATTACHMENT 2 – EXCERPTS FROM B.M. ROSS’S PEER REVIEW OF THE
PRELIMINARY SERVICING REPORT ON BEHALF OF THE
MUNICIPALITY**

...Development Engineering have submitted an updated Preliminary Servicing and Stormwater Management Report for the Schouten Subdivision dated April 22, 2025, to address the sanitary system issues that we had discussed.

We have reviewed the updated report and have the following comments related to the sanitary servicing summary.

The updated population projection for the development is based on the following:

- 109 single family residential lots at 3.0 persons/unit = 327 (density of 16 units/ha.)
- 56 street fronting townhome units at 2.4 persons/unit = 135 (density of 43 units/ha.)
- 93 multi family block townhome units at 2.4 persons/unit = 224 (density of 35 units/ha.)

This results in a total of 258 units with a projected total population for the development of 686 persons for the 14.46ha. development.

Their projected sewage flows were calculated based on the City of London design criteria which uses an average daily per capita flow rate of 230 L/p/day, 0.10L/s/ha infiltration allowance, the Harmon Peaking factor and Uncertain Development factor of 1.0 or 1.1 depending on the development area.

Note that the City of London design criteria use an Uncertain Development Factor of 1.1 for residential developments of less than 200ha. and 1.0 for developments over 200ha. The proposed development has an area of 14.46ha. so, the uncertain development factor used in their original calculations was 1.1 but they have used 1.0 for these updated calculations, so the projected flow rates are reduced by 10% compared to the London design standard.

The projected peak sanitary flow rate is 8.57 L/s, and the projected average daily flow is 157.8 m³/day (population flow only).

As discussed in our meeting, the records provided by OCWA in their 2024 CLI-ECA Alvinston Sewage Treatment Plant Annual Report indicate that the WWTP had an annual average daily flow in 2024 of 342.91 m³/day, or 57% of the plant’s rated design capacity of 600 m³/day.

Adding the average daily flow rate of 157.8 m³/day from the proposed development per the updated DevEng report would bring the total to 500.7 m³/day which is 83.5% of the WWTP rated design capacity.

As discussed in our meeting, Sam Smith advised that when the plant reaches flows of 80% of the design capacity, the MECP will require that the municipality have plans in place for operational improvements or expansion of the WWTP and the associated upstream conveyance system (gravity sewers, pumping station and force main) to accommodate the increased demand.

Therefore, as we noted previously, if the proposed development is approved to proceed, Brooke-Alvinston Council will need to be prepared to accept that they will likely need to plan for the costs of future improvements to the existing sanitary sewage system and WTP to accommodate the increased sewage flows.

As discussed, this is not an immediate problem, as the flows will increase as development proceeds. The development proposal is indicating a total of 258 residential units, but it is anticipated that it will take a number of years to achieve full buildout.

...

As far as reaching the 80% capacity level, you are correct that even if the density is not increased beyond what the current OP would allow, this does not take into account other approved developments within Alvinston, so when you include those, you will definitely be over 80%.

Attachment 3 – PROPOSED CONDITIONS OF DRAFT PLAN OF SUBDIVISION APPROVAL AND EXPLANATION

General Conditions

- 1) That the draft approval applies to the plan prepared by Development Engineering, signed July 26, 2024, which provides for 109 lots for single detached dwellings, 12 blocks for street-facing townhouses, 1 additional block for townhouses, and 4 blocks to accommodate servicing and stormwater management infrastructure.

This condition clarifies what drawings the draft approval applies to.

- 2) That the road allowances included in this draft plan be shown and dedicated as public highways; the names of the proposed roads and municipal addressing must be consistent with the County of Lambton 9-1-1 protocol and be approved prior to the finalization of the Subdivision Agreement.

This condition addresses the naming of the new roads within the plan.

- 3) The following revisions to the draft plan are required:
 - a) A 0.3m wide Block be provided where residential lots abut Nauvoo Road as a reserve and conveyed to the County of Lambton at no cost and free and clear of all encumbrances.

This condition identifies revisions that must be made to the final plan of subdivision prior to its being registered. A 1 foot reserve would be conveyed to Lambton County to prohibit direct access to Nauvoo Road by future residential lots.

Municipality of Brooke-Alvinston

- 4) The owner transfer Blocks 110, 111, 112, and 126 to the Municipality at no cost and free and clear of all encumbrances.

This condition identifies lands that are to be owned by the Municipality in the long term for operation of what will become municipal infrastructure.

- 5) The owner conveys at no cost to the Municipality, free and clear of all encumbrances, land for parkland dedication, cash-in-lieu, or a combination thereof in amount equal to five (5) percent of the subject site, to the satisfaction of the Municipality.

This condition makes use of the parkland dedication the Municipality is entitled to under the Planning Act.

- 6) The owner shall submit a Form SS1 with respect to the Municipality's CLI-ECA and obtain approvals from the Ministry of Environment, Conservation and Parks and from the Municipality for the final servicing plans. The approved servicing

plans shall be incorporated into the Subdivision Agreement between the Owner and Municipality.

This condition ensures the appropriate approvals are obtained for the new servicing infrastructure that will be assumed by the Municipality.

- 7) That the owner obtain allocation from the Municipality for this development for capacity in the wastewater collection and treatment system. This may be allocated in phases as permitted by the Municipality.

This condition satisfies the County that each phase of the development has been reviewed to ensure sanitary system capacity (still) exists before the phase proceeds.

- 8) The subject lands be rezoned appropriately for the proposed development to the satisfaction of the Municipality.

This condition is met if the proposed rezoning is adopted by Council and comes into effect and is necessary to support the proposed subdivision layout and mix of uses.

- 9) The owner enters into a Subdivision Agreement with the Municipality pursuant to Section 51(26) of the Planning Act to be registered on title of the land to which it applies prior to the plan of subdivision being registered. The Subdivision Agreement shall include provisions that it will also be registered against the land to which it applies once the plan of subdivision has been registered. The Subdivision Agreement between the Owner and Municipality must satisfy all the requirements of the Municipality, financially and otherwise, which shall include but not be limited to:

- a) Provision of roads and sidewalks, municipal sanitary sewers, storm sewers and water distribution services, fire hydrants and street signs, subject to the satisfaction of the Municipal Engineers and conform to Ministry of Environment, Conservation and Parks standards.
- b) Satisfying the Municipality with respect to drainage and storm water management. The applicant shall design and construct the stormwater management facility to the satisfaction of Municipality.
- c) Provisions requiring the submission of a plan for sediment and erosion control for the construction phase of this subdivision.
- d) Provision of boulevard trees within future street rights-of-way.
- e) Provision of an overall grading plan with individual certified lot grading plans, including as-constructed certification, to be required at the building permit phase and conforming to the approved subdivision grading plan.
- f) Construction of an emergency access road over Block 110 and Block 112.
- g) Ensuring all work completed in the development of the subdivision and all future structures built on lots and blocks in the subdivision is designed and constructed in accordance with the recommendations of the Preliminary Geotechnical Investigation completed by EXP Services Inc. dated June 17, 2022.

- h) Phasing Provisions to the satisfaction of the Municipality that address sewage / water allocation and provide for easements for temporary turning circles and 0.3m reserves as may be required by the Municipality to accommodate phasing.

These conditions ensure that the most important aspect of the subdivision development is completed (a subdivision agreement), ensuring the physical construction of the subdivision (including the future development of individual lots) is done to appropriate standards without financial burden to the Municipality.

- 10) The owner prepares a construction management plan, to the satisfaction of the Municipality. This Plan will be included as part of the Subdivision Agreement and will include but not be limited to:
- a. Mitigation of dust and debris on Municipal or County roads during construction.
 - b. Ensuring safety of pedestrians around site access points and on properties adjacent to the site.
 - c. Safe storage of on-site equipment and materials.
 - d. Emergency contact for residents.
 - e. Prohibiting Construction access to Nauvoo Road

This condition provides more detail for the construction management plan requires as part of the subdivision agreement and also addresses County Public Work's restrictions regarding Nauvoo Road.

- 11) The owner shall enter into an agreement with the appropriate service providers for the installation of underground communication / telecommunication utility services for the land to enable, at a minimum, the effective delivery of communication/telecommunication services for 911 Emergency Services.

This is a generic condition to ensure all public and private utilities are provided in the subdivision with the proper approvals.

- 12) That such easements as may be required for utility, servicing, or drainage purposes be granted to the appropriate agency and registered on title.

This is also a generic condition to ensure all public and private utilities are provided in the subdivision with the proper approvals.

St. Clair Region Conservation Authority

- 13) That the owner obtains any approvals required from the Conservation Authority, for example for any stormwater outlet.

This condition addresses SCRCA's written comments that their approval may be required for the stormwater outlet.

Bluewater Power

- 14) That the owners satisfy Bluewater Power with respect to servicing capacity for the proposed development and provide Bluewater Power with electrical service drawings of a design to Bluewater Power's satisfaction.

This condition ensures this significant private utility is provided in the subdivision with the proper approvals.

Enbridge Gas Inc.

- 15) That the owner satisfies Enbridge Gas Inc. with respect to servicing capacity for the proposed development and provide to EGI the necessary easements and/or agreements required for the provision of gas services to the development, in a form satisfactory to EGI.

This condition ensures this significant private utility is provided in the subdivision with the proper approvals and addresses EGI's written submission.

Canada Post

- 16) The Owner completes to the satisfaction of the Municipality of Lambton Shores and Canada Post with respect to the following:

- a. include on all offers of purchase and sale, a statement that advises the prospective purchaser:
 - i. that the home/business mail delivery will be from a designated Centralized Mail Box.
 - ii. that the developers/owners be responsible for officially notifying the purchasers of the exact Centralized Mail Box locations prior to the closing of any home sales with specific clauses in the Purchase offer, on which the homeowners do a sign off.
- b. the owner further agrees to:
 - i. consult with Canada Post to determine suitable permanent locations for the placement of Community Mailboxes and to indicate these locations on appropriate servicing plans.
 - ii. confirm to Canada Post that the final secured permanent locations for the Community Mailboxes will not conflict with any other utility, including hydro transformers, bell pedestals, cable pedestals, flush to grade communication vaults, landscaping enhancements (tree planting) and bus pads.
 - iii. install concrete pads at each of the Community Mailbox locations as well as any required walkways across the boulevard and any required curb depressions for wheelchair access as per Canada Post's concrete pad specification drawings.
 - iv. prepare and maintain an area of compacted gravel to Canada Post's specifications to serve as a temporary Community Mailbox location. This location will be in a safe area away from construction activity in order that Community Mailboxes may be installed to service addresses that have occupied prior to the pouring of the permanent mailbox pads. This

area will be required to be prepared a minimum of 30 days prior to the date of first occupancy.

- v. communicate to Canada Post the excavation date for the first foundation (or first phase) as well as the expected date of first occupancy.
- vi. prior to offering any of the residential units for sale, to place a "Display Map" on the wall of the sales office in a place readily available to the public which indicates the location of all Canada Post Community Mailbox site locations, as approved by Canada Post and the Municipality of Brooke-Alvinston.
- vii. include in all offers of purchase and sale a statement, which advises the prospective new home purchaser that mail delivery will be from a designated Community Mailbox, and to include the exact locations (list of lot #s) of each of these Community Mailbox locations; and further, advise any affected homeowners of any established easements granted to Canada Post.

These conditions address Canada Post's written submission and mail delivery requirements.

Clearances

- 17) That the owner provides a letter of concurrence from the Ministry of Citizenship and Multiculturalism with respect to the conclusions of the Stage 1-2 Archaeological Assessment completed by Lincoln Environmental Consulting Corp. dated Feb 2023.
- 18) That prior to final approval, all submissions to the County of material related to conditions 1 through 17, inclusive, be provided in one comprehensive package by the applicant. The applicant will also provide a comprehensive chart or letter detailing how all conditions have been satisfied.
- 19) That prior to final approval, the County is advised in writing by The County of Lambton Public Works Department how Condition 3 has been satisfied.
- 20) That prior to final approval, the County is advised in writing by the Municipality of Brooke-Alvinston how Conditions 4 through 12, inclusive, and 16 have been satisfied.
- 21) That prior to final approval, the County is advised in writing by the St. Clair Region Conservation Authority as to how Condition 13 has been satisfied.
- 22) That prior to final approval, the County is advised in writing by Bluewater Power as to how Condition 14 has been satisfied.
- 23) That prior to final approval, the County is advised in writing by Enbridge Gas Inc. as to how Condition 15, has been satisfied.
- 24) That prior to final approval, the County is advised in writing by Canada Post how Condition 16 has been satisfied.

The above conditions require clearances from the appropriate bodies to ensure the conditions have been met before the plan is given final approval and registered.

- 25) That prior to signing the Final Plan, the owners shall submit:
- one (1) original transparent plan.
 - two (2) transparent duplicates.
 - three (3) white paper copies.
 - one (1) copy of the Subdivision Agreement executed with the Municipality of Brooke-Alvinston.
 - one (1) copy of confirmation that the above noted Subdivision Agreement has been registered on the title of the subject lands.

This condition sets of the required submissions for final approval and registration of the plan (or phases).

- 26) This Draft Approval shall lapse if Final Approval, or extension to Draft Plan Approval, is not obtained within three years of the date of this approval, being , 2028.

This provision establishes a lapsing date. The proponent can apply for an extension which Council can evaluate at that time.